

# Town of Yarmouth

Per M.G.L.: All town and school boards, committees, commissions, and authorities shall post a notice of every meeting at least 48 hours prior to such meeting, excluding Saturdays, Sundays, and legal holidays. Notice shall contain a listing of topics/agenda that the chair reasonably anticipates will be discussed at the meeting.

## Notice of Meeting

Name of committee, board, etc.:	<b>Design Review Committee</b>
Date of Meeting:	<b>Tuesday - June 23, 2020</b>
Time:	<b>4:00 PM</b>
Place:	<b>Virtual Meeting</b>

The meeting will be held by remote participation pursuant to Massachusetts Governor Charles D. Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings in real time, via technological means. An audio or video recording, transcript, or other comprehensive record of proceedings will be posted on the town's website as soon as possible after the meeting.

**JOINING THE VIRTUAL MEETING:** Members of the public can join the meeting using one of the following methods:

- To attend the meeting online, click <https://us02web.zoom.us/j/84470682736> and follow the prompts or navigate to <https://zoom.us/join> and enter meeting/webinar ID **84470682736** and follow the prompts.
- To attend the meeting by dial-in phone, call +1 301 715 8592 and enter meeting ID **84470682736**. The dial-in number can also be used to access the audio while watching the online meeting (if you don't have speakers and/or a microphone on your computer).
- Please plan to join the virtual meeting at least five minutes before the start of the meeting to troubleshoot any issues you may have joining.

### **APPLICANTS:**

- Applicants will be called upon by the Chair or Moderator to present their request. Applicants can use the "Raise Hand" button to identify themselves (all participants will be muted, you must be recognized by the Chair to participate).
- Applicants attending by dial-in should press \*9 to notify the Chair or Moderator of their presence when called upon. The meeting Moderator will un-mute applicants when they are called upon to speak.

**PUBLIC PARTICIPATION:** During the Public Comment period for Public Hearings, or at the discretion of the Chair for Public Meetings, the Chair will invite the audience to comment:

- Online audience members wishing to participate during the public comment section can use the "Raise Hand" button to notify the Chair. All participants will be muted, you must be recognized by the Chair to participate.
- Dial-in audience members wishing to participate during the public comment section should press \*9 on their phone to notify the Chair. All participants will be muted, you must be recognized by the Chair to participate.

**MEETING MATERIALS:** Meeting materials will be displayed at the online meeting and are attached to this agenda (available at <http://www.yarmouth.ma.us/AgendaCenter>).

**DESIGN REVIEW COMMITTEE AGENDA (Topics to be discussed):**

1. **Formal Design Review for VCOD SPR:** South Yarmouth Wise Living Retirement Community, 822 and 834 Route 28 and 30 Frank Baker Road, South Yarmouth, Assessor Map 33/ Parcel 70.1, Assessor Map 41/Parcel 12, and Assessor Map 41/Parcel 11.1, Zoning Districts B2, HMOD1, ROAD and VCOD VC2. The redevelopment is being done under Section 414 – Village Centers Overlay District (VCOD) on three parcels totaling approximately 6.09 acres.

The Applicant is proposing amendments to a previously reviewed project (VCOD #2020-1) which includes the redevelopment of the Cape Cod Irish Village hotel property (822 Route 28) from 128 hotel rooms to a 120 unit Wise Living Requirement Community for senior housing with common dining facility and outdoor pool, as well as a leased medical complex, exercise/rehab and wading pool facilities, and upgrades to the building façade and parking area. The existing commercial property at 834 Route 28 will be upgraded with some building modifications and parking lot improvements. Existing septic and drainage systems will be used. 30 Frank Baker Road will remain vacant in its natural state.

The proposed amendments include revisions to the facades for both buildings, along with corresponding minor site modifications. Two options are being proposed, one to reduce the amount of zoning relief needed (Option A); and one that proposes to eliminate the need for any further zoning relief (Option B). The Design Review Committee will review both Options.

2. Adjournment.

Posted By (Name):	Kathleen D. Williams
Signature:	<i>Kathy Williams</i>

# **OPTION A**



# Town of Yarmouth VCOD Site Plan Review Application

Option A

For Office Use Only	
Review Date	_____
Review Time	_____
Fee Submitted	_____
Electronic Submissions	_____
Hardcopy of Materials	_____

Date: June 19, 2020

Project Name: South Yarmouth Wise Living Retirement Community

Project Address: 822 Route 28, 834 Route 28 and 30 Frank Baker Road, South Yarmouth

Assessor's Map/lot 33/70.1 & 41/12 & 41/11.1

Registry of Deeds Title Reference: 28032/179 & 25968/22 & 32123/16  
(Book/Page or LCC #):

Zoning & Overlay Districts: B2 & HMOD1 / R.O.A.D / GIZ PHASE 1 / VCOD-2

Flood Zone: X - building & parking  
AE (el 11) - rear of land Lot Size: 265,292 +/- sq.ft. (6.09+/- acres)

Wetland Resources or Buffers on Parcel: Buffer to wetlands on adjacent property

Proposed Uses (per Table 202.5): P5 Nursing & Personal Care Facility and O1 Doctors Office

Estimated Construction Cost \$5,000,000.00

Applicant's Name: Wise Living Development LLC, Christopher D. Wise, Manager

Applicant's Address: c/o Andrew L. Singer, Esq. Law Office of Singer & Singer, LLC P.O Box 67, Dennisport, MA 02639

Applicant's Phone: c/o Andrew L. Singer: 508-398-2221 Email: c/o Andrew L. Singer: alsinger@singer-law.com

Owner or Corp. Name/Address/Phone (if different): Maclyn LLC, c/o Andrew L. Singer, Esq., John J. Hynes, Jr.,  
Trustee of 834 Main Street Realty Trust, c/o Andrew L. Singer, Esq., and Baker Frank LLC, c/o Andrew L. Singer, Esq.

Engineer/Surveyor: Kieran Healy

Eng/Surveyor Address: BSC Group 349 Main Street (Route 28) West Yarmouth, MA 02673

Eng/Surveyor Phone: 508-778-8919 Email: khealy@bscgroup.com

Architect: Erik Tolley

Architect Address: ERT Architects 299 White's Path, South Yarmouth, MA 02664

Architect Phone: 508-362-8883 Email: erik@ertarchitects.com

Brief Project Description: Please see attached Project Description and Narrative.

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List (petition number and date) and attach copies of prior Board of Appeals Petitions  
(This information can be obtained from the Board of Appeals Office)

822 Route 28: Petition No's: 1491, 1507, 1914, 1934, 2525 & 4846

834 Route 28: Petition No's: 2890, 3039 & 4846

Special Permit Relief Required from Zoning Board of Appeals, if applicable (Specify  
Section and Relief Sought):

N/A

List of Hazardous Materials and Quantities (attach if necessary):

Cleaning Supplies & Pool Maintenance

Wise Living Development LLC, Christopher D. Wise, Manager

Signature of Applicant Andrew L. Singer Date June 19, 2020  
By: Andrew L. Singer, Attorney

Signature of Owner Andrew L. Singer Date June 19, 2020  
(if not Applicant) By: Andrew L. Singer, Attorney  
Thomas MacCormick, Manager, John J. Hynes, Jr., Trustee and John J. Hynes, Jr., Manager

# Law Office of Singer & Singer, LLC

26 Upper County Road  
P. O. Box 67  
Dennisport, Massachusetts 02639

Andrew L. Singer  
Marian S. Rose

Myer R. Singer  
Of Counsel

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[www.singer-law.com](http://www.singer-law.com)

## Town of Yarmouth VCOD Site Plan Review Application Option A

### Project Description and Narrative

This is an amendment request to the previously-approved South Yarmouth Wise Living Retirement Community redevelopment at the property. The project will redevelop an existing hotel property (136 original rooms, now combined as 128 rooms) in the existing building into a mixed-use Wise Living Retirement Community for senior housing with 120 units (104 studios and 16 one bedrooms), common resident dining facility, and outdoor swimming pool as well as a leased medical complex, exercise/rehab, and wading pool facilities. The use has been approved by the Planning Board and will not change.

This is Option A of a companion application with Option B, both of which the Applicant wants to review and seek approval for from the Planning Board. Option A will require Zoning Board of Appeals relief for certain building modulation design standards for the 822 Route 28 Building and the 834 Route 28 Building.

Except as shown on the plans and noted herein, the previously-approved aspects of the elevations for both buildings will remain the same as permitted. In addition, the proposed site upgrades remain the same as permitted. Dimensional requirements will remain conforming except as previously permitted to be varied by the Board of Appeals. Septic, drainage, stormwater, traffic, parking, driveways, access, lighting, signage, and landscaping all remain the same as previously approved by the Planning Board and, where applicable, the Board of Appeals.

Option A is the preferred option (and is similar in most regards to what was previously approved by the Board). The changes include that: 1) the bump outs on the east and west sides of the front portion of the 822 Route 28 Building have been enclosed where there used to be just overhangs with columns (conforming to design standards), 2) a new, enclosed bump out has been added to the front of the dining room on the south side of the building (conforming to design standards), and 3) the open air porches and balconies on the east and west sides of the building remain open (requires relief from the Board of Appeals). On the 834 Route 28 Building, the changes include that: 1) the entry way on the west side of the building has been enclosed where it used to be open (conforming to design standards), and 2) a new bump out on the east side of the building has been added that will require relief from the Board of Appeals.

## VCOD Site Plan Review Application Checklist

- Application Form
- Fee
- One(1) original and twenty-two (22) hard copies of the required information outlined below. A Professional Land Surveyor or Professional Civil Engineer or licensed architect shall sign and date and place their seal upon all pertinent documents and plans as appropriate to their discipline. All drawings shall be prepared on standard 24" x 36" plan sheets. Site Plans shall be at a minimum scale of 1" = 40' unless otherwise specified. Elevation drawings, where required, shall be drawn at a minimum scale of 1" = 4'. Drawings may be submitted in 11x17 format if plotted at a standard scale and are fully legible. All drawings must be to scale. If 11x17 drawings are submitted, one full size set of all plans shall also be submitted.
- Digital Format of all Submittal Information: In addition to hard copies provided, all applications, supporting data, plans and specifications must be submitted in Adobe pdf digital format on CD or DVD. All site plans and architectural plans shall be included in one pdf file. Site Plans shall also be provided in AutoCad.dwg format. If requested, plans shall also be provided in the following acceptable digital formats: ESRI standard .shp or geodatabase file formats. All feature types that are shown on the recorded plans must be organized in separate layers to allow for easy viewing in digital format (e.g., right of way, buildings, lot lines, utilities, etc.). All drawing shall be geo-referenced in Mass State Plane coordinates to allow for easy integration into GIS.

The following information shall be included the submittal package:

### Basic Information (for all plans)

1.   x   Name of the proposed development.
2.   x   Name and address of property owner and applicant.
3.   x   Name, address and telephone number of person or firm preparing application plan and/or materials.
4.   x   Date of plan/materials preparation, with revision date(s) (if any).
5.   x   Graphic scale and true north arrow on any graphic representations.
6.   x   Assessors Map and lot number(s) of the parcel.

Site Information

1.   x   Regional Locus - A locus plan locating the site on the most recent USGS quadrangle map that includes a half-mile radius around the site and zoning district boundaries.
  
2.   x   Aerial Locus – The latest available aerial photograph produced at the same scale as the Regional Locus, including labeled street names.
  
3.   x   Existing Conditions Plan – The location or identification of the following features:
  - a.   x   Surveyed property boundary;
  - b.   x   Wetlands, streams, water bodies, and their regulatory buffers; other regulatory setbacks/buffers; and 100-year flood plain boundary with elevation;
  - c.   x   Zoning setbacks ;
  - d.   x   Unique natural land features, including all stonewalls, trees over eight (8) inches in diameter measured at breast height, rock outcrops, and the general location of the tree line;
  - e.   x   Adjacent streets with dimensions;
  - f.   x   Existing driveways or other means of access to and from the site with dimensions;
  - g.   x   Existing on-site structures and structures on abutting properties if within 20' of the property line;
  - h.   x   Adjacent properties including lots on the opposite sides of adjacent streets with owners' names;
  - i.   x   Any deeds of easement, rights-of-way, covenants and any other agreements connected with the site with dimensions;
  - j.   x   Existing utilities;
  - k.   x   Existing stormwater management facilities;
  - l.   x   Existing wastewater management facilities with design flow noted;
  - m.   x   Topography in two-foot intervals with spot elevations.
  
4.   x   General Proposed Development Plans (information can be contained on multiple plans)
  - a.   x   Surveyed property boundary;
  - b.   x   Wetlands, streams, water bodies, and their regulatory buffers; other regulatory setbacks/buffers; and 100-year flood plain boundary with elevation;
  - c.   x   Retained and proposed structures with height, footprint, total gross floor area, number of stories noted;
  - d.   x   If a structure is located in a setback, the measured setbacks for each structure to the nearest lot line and/or structure with

- e.   x   annotation for required zoning setback;  
Proposed deeds of easement, rights-of-way, covenants and any other agreements connected with the site with dimensions;
- f.   x   Stormwater management system locations with description noted (e.g., "swale", "bioretention facility", "recharge chamber", etc.)
- g.   x   Wastewater treatment facilities locations with description of the system and design flow noted;
- h.   x   Water supply infrastructure location and description;
- i.   x   Proposed telephone/electric/cable with transformer locations.
- j.   x   Delineation of landscaped areas;
- k.   x   Parking and loading areas with stall dimensions, striping, islands, walkways, and number of spaces;
- l.   x   Proposed vehicular and pedestrian connections to adjacent parcels, or identification of locations where future connections could be made.
- m.   x   Circulation features such as site access, bicycle lanes/striping, general flow of automobile traffic, stacking capacity for any drive-through lanes, bicycle racks, speed bumps, crosswalks, and sidewalks. For crosswalks and sidewalks, materials, color, finish, and dimensions shall be noted;
- n.   x   Location of waste disposal collection bins and associated screening;
- o.   x   Parking requirement calculations and description of any shared parking or off-site parking strategies with associated calculations.
- p.   x   Proposed topography in two-foot contours with spot elevations as required. All proposed first floor elevations of all buildings.
- q.   x   Summary of zoning dimensional requirements, existing and proposed, with appropriate footnotes.
- r.   x   Erosion Prevention and Sediment Control plans.

5.   x   Lighting and Signage Plan

- a.   x   The location, dimensions, height of all signs and lighting;
- b.   x   Sketches or other stock images shall be provided to show typical applications to be used for free-standing and wall mounted lights to demonstrate compliance with the VCOD standards (separate sign permits required);
- c.   x   Lighting plan showing the location of all fixtures with lumen output and foot candle intensity at property boundaries;
- d.   x   Identification of any existing signs that will be improved or replaced in order to achieve compliance with VCOD standards.

6.   x   Landscaping/Planting Plan
- a.   x   List of proposed plants in their common name and Latin name with variety, and proposed sizes;
  - b.   x   Location of each plant listed in 6a above;
  - c.   x   Parking Lot canopy calculations.
  - d.   x   Location, dimension, height, style, color, and materials for any decorative walls or fences proposed.
  - e.   x   Location, width, materials and colors of all pedestrian pathways.
  - f.   x   Location of any protective measures during construction including tree barriers.

7.   x   Building Information – The applicant shall provide the following building and architectural information:

\* Option A relief from ZBA as proposed

- a.   x   \* Architectural elevations demonstrating compliance with the VCOD standards for materials, rooflines, fenestration, signage and entrances as applicable.
- b.   x   Architectural first floor plans for all proposed buildings or building expansions.
- c.   x   Identify all building materials on the plans or in a separate narrative. Provide information and material samples where applicable, or requested, on the following:
  1. *Siding: materials, color and exposure;*
  2. *Roof: material, color and exposure;*
  3. *Windows: manufacturer, style, exterior material and color, grill configuration;*
  4. *Doors: material, style and color(s);*
  5. *Trims: Materials, dimensions and color(s) for trim associated with Windows, Doors, Corner Boards, Soffit, Fascia, Frieze, Rake Boards;*
  6. *Decks: size, materials, colors;*
  7. *Stair and Deck Railings: materials, dimensions and colors of top and bottom rails, balusters and posts;*

8.   \*   Supplementary Information – The applicant shall provide a narrative report with the following information. \*See Project Description and Plans.

- a.        Narrative summary of basic information.
- b.        Narrative summary of existing conditions.
- c.        Narrative summary and any additional documentation of strategy to provide water supply.
- d.        Narrative summary and any additional documentation of strategy to treat and dispose of wastewater including a description of on-site soils, depth to groundwater throughout the site, and any test pit investigations that may have been performed.

- e. \_\_\_\_\_ Narrative summary and any additional documentation of strategy to treat and discharge stormwater and, where applicable, the relationship between the stormwater management strategy and any impairment identified on the watershed 303(d) list.
  - f. \_\_\_\_\_ All documentation for subsurface soil investigations referenced by code or key to locations of testing sites on submitted plans.
  - g. \_\_\_\_\_ Stormwater flow calculations associated with all best management practices shown on submitted plans including discharge volume calculations for design storm frequencies, peak discharge rates for design storm frequencies, and soil percolation rates. Stormwater runoff calculations shall be conducted in HydroCad or similar software program using TR-20 or TR-55.
  - h. \_\_\_\_\_ Maintenance plans associated with all on-site utilities, responsible parties, descriptions of associated covenants, and funding sources where applicable.
  - i. \_\_\_\_\_ Calculations associated with wastewater design flows.
  - j. \_\_\_\_\_ Description of proposed phasing (if any).
  - k. \_\_\_\_\_ Description of compliance with inclusionary zoning requirements [Sections 412.2 and 414.5.2.3].
  - l. \_\_\_\_\_ Narrative description of the use of any open space including the uses that are proposed, the management structure for the open space, and a description of the restrictions that will be placed upon the open space area as applicable.
9. \_\_\_\_\_ If requested by the Planning Board, the application shall also include a Technical Review Fee to cover the review of specific design or engineering elements of the proposed development subject to MGL Chapter 44, Section 53G.

**ZONING RELIEF**

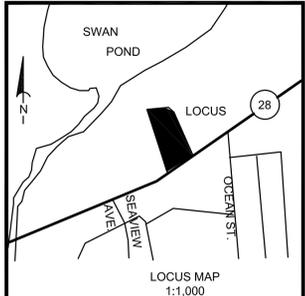
PREVIOUSLY APPROVED \*\*\*  
NEW RELIEF REQUESTED \*\*

**PROPOSED LOT / BUILDING COVERAGE**

MAXIMUM LOT COVERAGE ALLOWED: 80%  
EXISTING LOT COVERAGE: 158,276± S.F. (59.7%)  
PROPOSED LOT COVERAGE: 157,992± S.F. (59.6%)  
MAXIMUM BLD COVERAGE ALLOWED: 25%  
EXISTING BLD COVERAGE: 64,856± S.F. (24.45%)  
PROPOSED BLD COVERAGE: 66,281± S.F. (24.99%)

**NOTES:**

- 1.) THIS PLAN IS BASED ON SURVEY FIELD WORK PERFORMED BETWEEN 2006 AND 2013 AND FIELD CHECKED IN NOVEMBER OF 2019 THROUGH JANUARY OF 2020.
- 2.) WETLAND FLAG LOCATIONS ARE BASED ON 2013 LOCATIONS. THE DELINEATION HAS NOT BEEN UPDATED AT THIS TIME AS THEIR IS NO WORK BEING PERFORMED OUTSIDE OF THE EXISTING BUILDING AND PAVEMENT WITHIN 100' OF THE PREVIOUS WETLAND DELINEATION.
- 3.) A LIMIT FIELD SURVEY WAS PREVIOUSLY PERFORMED AT #30 FRANK BAKER ROAD AS NO CONSTRUCTION IS PROPOSED ON THIS PORTION OF THE LOT AT THIS TIME WITH THE EXCEPTION OF THE REVISED DUMPSTER PAD LOCATION.
- 4.) #822, #834 AND #30 ARE TO BE COMBINED AND WILL HAVE A TOTAL LAND AREA OF 6.09± ACRES.
- 5.) MINOR INCREASES TO THE IMPERVIOUS COVERAGE IS PROPOSED AND AS A RESULT NO DRAINAGE MODIFICATIONS ARE PROPOSED.
- 6.) THE EXISTING PAVEMENT IS TO REMAIN BUT WILL HAVE MINOR CHANGES TO ALLOW FOR INTERIOR SITE ACCESS AND FOR HANDICAPPED ACCESSIBLE ENTRANCEWAYS AND GENERAL REPAIR / SEAL-COATING AS NEEDED.
- 7.) THE EXISTING BUILDING IS A TWO STORY BUILDING AND ROOF MODIFICATION WILL BE THE ADDITION OF FACADES TO ENHANCE THE BUILDING.
- 8.) THE PARKING LOT CANOPY IS CALCULATED BASED ON PARKING AREAS ONLY. INSPECTION AND CALCULATIONS WERE PERFORMED IN JANUARY OF 2020 WHERE THE CANOPY WAS BASED ON VISIBLE EVIDENCE OF BRANCHES.
- 9.) SEE ATTACHED LIGHT DESIGN BY OTHERS FOR LIGHT FIXTURES AND COVERAGE.



6/18/20

BRIAN G. YERGATIAN  
PROFESSIONAL ENGINEER

**PROPOSED CANOPY CALCULATIONS**

#822 PARKING AREA 26,920± S.F.  
#834 PARKING AREA 5,107± S.F.  
TOTAL PARKING AREA: 32,027± S.F.  
CANOPY REQUIRED: 32,027± S.F. x 30% = 9,608± S.F.  
PARKING CANOPY PROVIDED: 12,700± S.F. (39.6%)

**LANDSCAPE OPENSAPCE CALCULATIONS**

TOTAL PARKING AREA: 32,027± S.F.  
OPEN SPACE REQUIRED: 32,027± S.F. x 10% = 3,203± S.F.  
OPEN SPACE PROVIDED: 4,400± S.F. (13.7%)

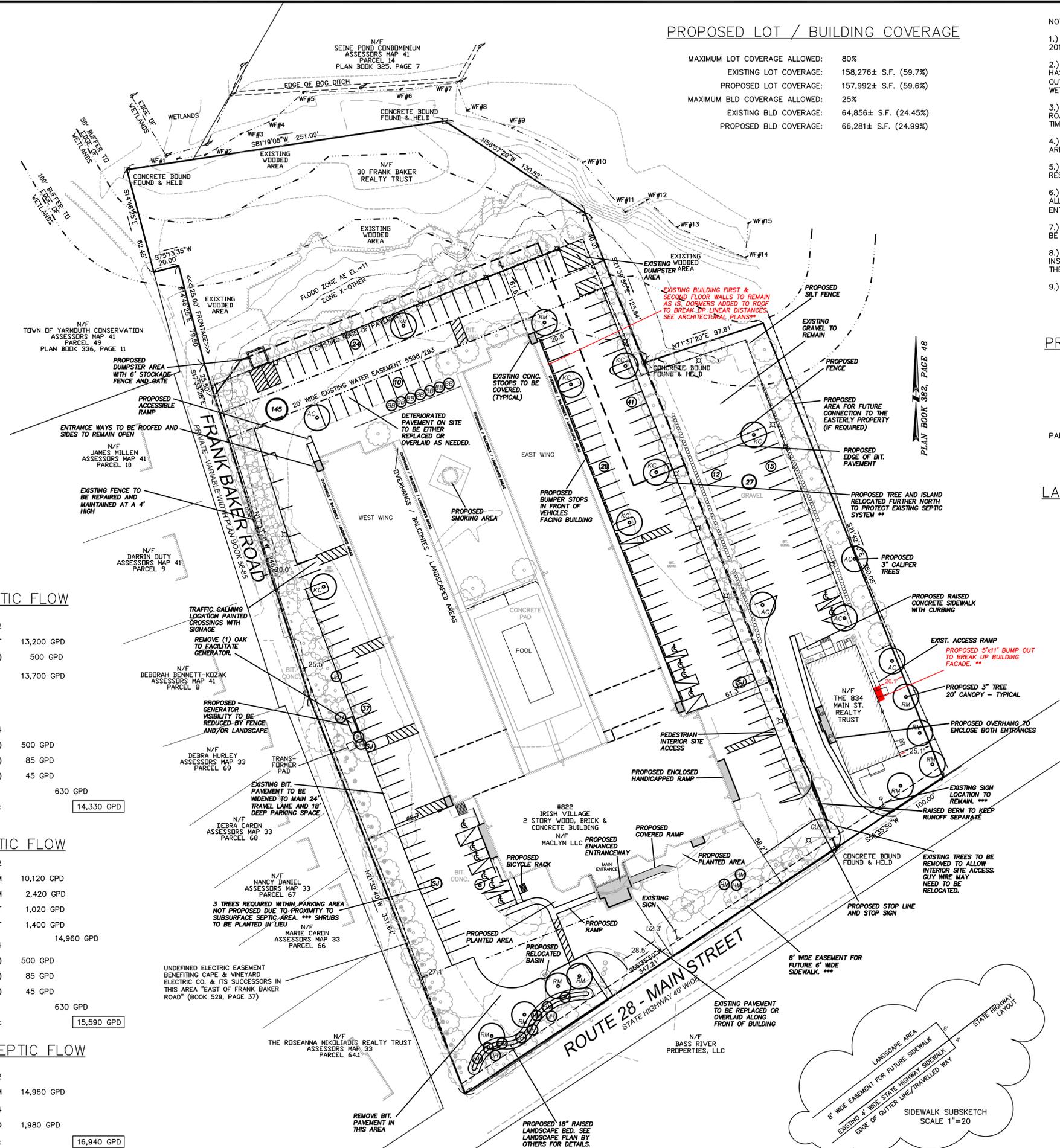
**PROPOSED PARKING**

Category	Units	Spaces
#822		
P5 - INSTITUTIONAL SERVICES	120 SENIOR HOUSING UNITS	120 UNITS / 0.87 (105 SPACES)
	6 OFFICE STAFF (6) SPACES	
	8 KITCHEN STAFF (8) SPACES	
	2 MAINTENANCE STAFF (2) SPACES	
	20 VISITORS / CNA'S (20) SPACES	141 SPACES
01 - DOCTORS OFFICE	4800 S.F. OF SPACE	
	1 SPACE PER 400 S.F.	12 SPACES
		153 SPACES
#834		
J3 BEAUTY SHOP	HAIRDRESSER (5 CHAIRS)	15 SPACES
	5 STAFF (5) SPACES	
	10 CUSTOMERS (10) SPACES	
	RETAIL (1,700 S.F. @700/S.F.)	3 SPACES
	OFFICE (600 S.F. @1,400 S.F.)	2 SPACES
		20 SPACES
TOTAL REQUIRED:		173 SPACES
TOTAL PROPOSED:		173 SPACES
PRIOR PARKING:		204 SPACES

**IN-LOT TREE REQUIREMENTS**

AS DEPICTED 11 ADDITIONAL

**ISSUED FOR PERMITTING  
NOT FOR CONSTRUCTION**



**PROPOSED SEPTIC FLOW**

Unit/Service	Flow (GPD)
#822	
120 UNITS (110 GPD/ UNIT)	13,200 GPD
2 DOCTORS (250 GPD / DOCTOR)	500 GPD
	13,700 GPD
#834	
HAIRDRESSER (5 CHAIRS @100GPD)	500 GPD
RETAIL (1,700 S.F. @50GPD/1000S.F.)	85 GPD
OFFICE (600 S.F. @75GPD/1000S.F.)	45 GPD
	630 GPD
TOTAL PROPOSED:	14,330 GPD

**EXISTING SEPTIC FLOW**

Unit/Service	Flow (GPD)
#822	
92 MOTEL UNITS (110 GPD/ ROOM)	10,120 GPD
22 ONE BED-SUITES (110 GPD/ ROOM)	2,420 GPD
LOUNGE 51 SEATS (20 GPD/ SEAT)	1,020 GPD
DINING 40 SEATS (35 GPD/ SEAT)	1,400 GPD
	14,960 GPD
#834	
HAIRDRESSER (5 CHAIRS @100GPD)	500 GPD
RETAIL (1,700 S.F. @50GPD/1000S.F.)	85 GPD
OFFICE (600 S.F. @75GPD/1000S.F.)	45 GPD
	630 GPD
TOTAL EXISTING:	15,590 GPD

**APPROVED 1995 SEPTIC FLOW**

Unit/Service	Flow (GPD)
#822	
136 MOTEL UNITS @110 GPD/ ROOM	14,960 GPD
#834	
99 SEAT BAR/CLUB @ 20GPD	1,980 GPD
TOTAL EXISTING:	16,940 GPD

REVISIONS:

NO.	DATE	DESC.
1	3/3/2020	REMOVE PARKING IN FRONT DR & SPR COMMENTS
2	3/11/2020	PARKING CALCULATIONS
3	4/6/2020	ZONING RELIEF REQUIRED
4	4/16/2020	PLANNING BOARD REQ'
5	6/18/2020	OPTION "A" RELIEF REQ'

PREPARED FOR:  
JOHN HYNES  
343 ROUTE 28  
WEST YARMOUTH, MA 02673  
508-737-9644

**BSC GROUP**  
349 Main Street - Route 28  
West Yarmouth, Massachusetts  
02673  
508 778 8919

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SCALE: 1" = 40'  
0 20 40 80 FEET  
FILE: Projects-YAR\49382.02\Civil\Draw\4938202-A3.dwg  
DWG: 5923-08  
JOB. NO: 4-9382.03  
**S-2B-A**

**SOUTH  
YARMOUTH  
WISE  
LIVING  
RETIREMENT  
COMMUNITY**

**822  
MAIN  
STREET  
834  
MAIN  
STREET  
30  
FRANK BAKER  
ROAD  
SOUTH  
YARMOUTH,  
MA**

PROJECT # 200619

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THESE PLANS ARE NOT TO BE USED FOR PERMITTING OR CONSTRUCTION PURPOSES UNLESS STAMPED & SIGNED WITH AN ORIGINAL ARCHITECT'S STAMP AND SIGNATURE & MARKED AS "PERMIT SET" OR "CONSTRUCTION SET".

REGISTRATION

REVISIONS

DATE: REVISIONS:

ISSUED FOR:

DATE:



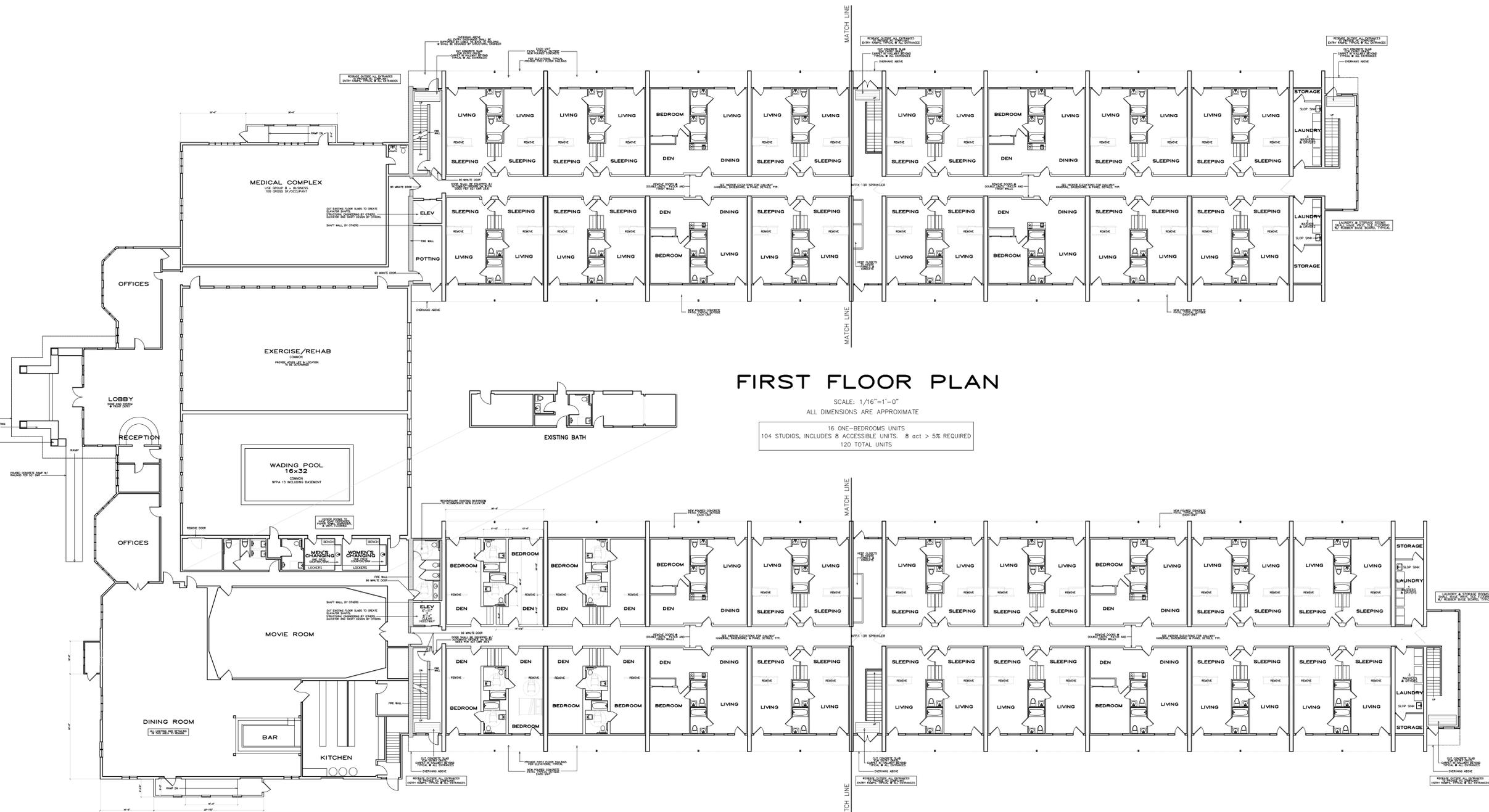
PROJECT TRUE

SCALE: 1/16"=1'-0"  
0 4 8 16 32  
UNLESS OTHERWISE NOTED.

SHEET NO.  
**A.1**

TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS



**FIRST FLOOR PLAN**

SCALE: 1/16"=1'-0"  
ALL DIMENSIONS ARE APPROXIMATE

16 ONE-BEDROOMS UNITS  
104 STUDIOS, INCLUDES 8 ACCESSIBLE UNITS. 8 act > 5% REQUIRED  
120 TOTAL UNITS

**TYPICAL NOTES:**

1. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE VERIFICATION OF THE CONDITION OF ANY EXISTING STRUCTURE, EQUIPMENT OR APPLIANCE, AS PART OF BASIC SERVICES UNLESS IT IS PART OF ARCHITECT'S WORK SHOWN IN THE AGREEMENT AND VERIFICATION IS MADE ONLY BY VISUAL OBSERVATION. IF THE ARCHITECT'S DOCUMENTS REQUIRE CHANGES DUE TO CONDITIONS NOT USUALLY OBSERVABLE AT THE TIME OF PREPARATION OF THESE DOCUMENTS, THE SERVICES WILL BE ADDITIONAL SERVICES.
2. STRUCTURAL ENGINEER OR ARCHITECT SHALL PERFORM FRAMING INSPECTION WHEN FRAMING IS COMPLETE AND PRIOR TO ENCLOSURE BY INTERIOR WALL PLASTER BOARD/FINISH.
3. CONTRACTOR SHALL SCHEDULE AND PROTECT FROM WEATHER ALL EXISTING HOUSE COMPONENTS AND INTERIORS DURING CONSTRUCTION AND CONSTRUCT TEMPORARY STRUCTURES/ENCLOSURES AS MAY BE NECESSARY TO INSURE SUCH PROTECTION.
4. CONTRACTOR SHALL SITE INSPECT ALL EXISTING VS. PROPOSED CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR CHANGES THAT MAY BE ENCOUNTERED.
5. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN TEMPORARY WALLS/SHROUDS ETC TO MAINTAIN/PROTECT EXISTING HOUSE AND STRUCTURAL INTEGRITY OF EXISTING HOUSE.
6. DRAWINGS DEMONSTRATE DESIGN INTENT. CONTRACTOR SHALL SITE INSPECT/VERIFY ALL EXISTING VS. PROPOSED CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND MAKE ADJUSTMENTS AS NECESSARY, W/ ARCHITECT'S APPROVAL, TO ENSURE COMPLIANCE WITH DESIGN INTENT.
7. DASHED LINES INDICATED EXISTING CONDITIONS TO BE REMOVED/ALTERED.
8. WHERE AN ITEM IS REFERRED TO IN SINGULAR NUMBER IN THE CONTRACT DOCUMENTS, PROVIDE AS MANY SUCH ITEMS AS ARE NECESSARY TO COMPLETE THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SHALL BE EXCLUSIVE RESPONSIBLE FOR ITS CONSTRUCTION MEANS, METHODS, SEQUENCES, WARRANTIES, AND PROCEDURES, AND FOR CONSTRUCTION SAFETY.

**DEMOLITION NOTES:**

1. CONTRACTOR SHALL VISIT THE SITE TO VERIFY AND BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR SHALL IDENTIFY ALL EXISTING ITEMS OF WORK SCHEDULED TO REMAIN OR SALVAGED FOR REUSE.
2. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE W/ STATE & LOCAL REGULATIONS. CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED DEMOLITION PERMITS.
3. COORDINATE ALL DEMOLITION OPERATIONS W/ OWNER FOR SHUTDOWN PERIODS & SEQUENCES OF WORK. ARRANGE W/ OWNER &/OR APPROPRIATE UTILITIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATIONS. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, AND PROTECTIVE ENCLOSURES TO PROTECT SECURE, ISOLATE, AND WATERPROOF AREAS OF WORK AND EXISTING AREAS AND ELEMENTS TO REMAIN. THE CONTRACTOR SHALL PERFORM THE WORK OF THIS CONTRACT IN A MANNER THAT CAUSES NO OBSTRUCTION TO THE CONTINUOUS OCCUPATION, WHEN AND WHERE APPLICABLE, OF THE BUILDING & SITE FOR THEIR INTENDED PURPOSE.
4. REMOVE ALL DEMOLISHED MATERIALS IN ACCORDANCE WITH LOCAL REGULATIONS.
5. IT IS NOT THE INTENT TO SHOW RUBER PRICE OR ITEM TO BE REMOVED IN THE DEMOLITION WORK. PLUMBING, ELECTRICAL, AND OTHER WORK RELATED TO A WALL, OR OTHER AREA SCHEDULED FOR DEMOLITION AND REMOVAL, SHALL BE PERFORMED WHERE NOTED OR NOT.
6. THE EXTENT OF ALL SPECIFIC DEMOLITION WORK SHALL BE COORDINATED W/ THE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL PATCH/REPAIR/REFINISH, AS REQUIRED, ALL SURFACES EXPOSED BY DEMOLITION WORK WITH MATERIALS & METHODS TO MATCH FINISH AND MAKE FLUSH W/ EXISTING ADJACENT SURFACES. WORK SHALL INCLUDE ALL LABOR & MATERIALS ON ALL SURFACES REQUIRED TO RENDER SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
8. CAP & REMOVE ALL ABANDONED ELECTRICAL, PLUMBING, MECHANICAL, AND FIRE PROTECTION ITEMS BACK TO SOURCE.
9. WHERE EXISTING FINISHES ARE INDICATED TO REMAIN AS BASE MATERIAL SURFACES FOR INSTALLATION OF NEW FINISH, REMOVE ALL PROJECTIONS AND JOBS AND SECURE OR REMOVE AND REPLACE ANY EXISTING JOBS OR OTHERWISE UNSUITABLE SUBSTRATE MATERIAL.

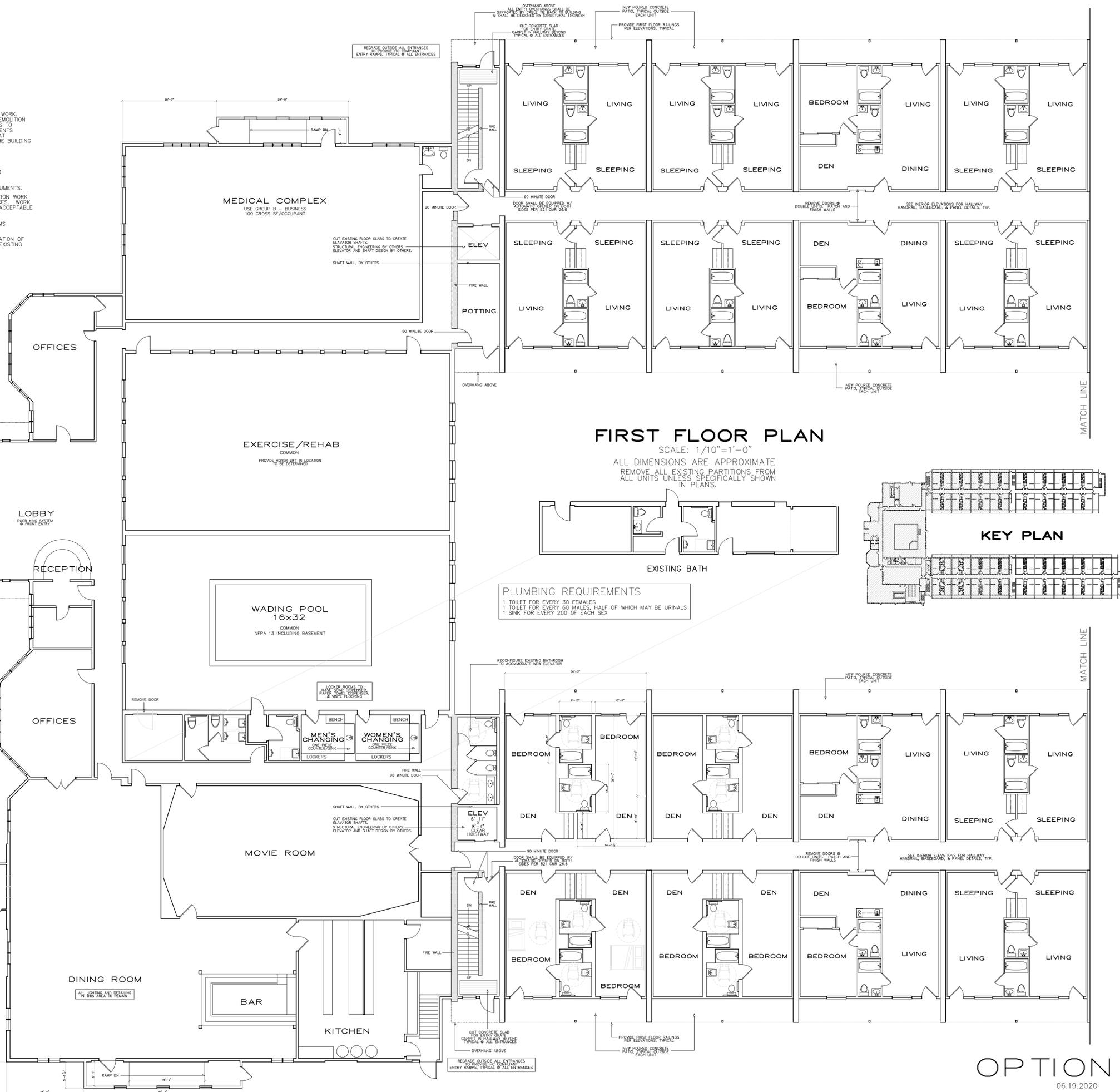
**OPTION 'A'**  
06.19.2020

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- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE W/ STATE & LOCAL REGULATIONS. CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED DEMOLITION PERMITS.
- COORDINATE ALL DEMOLITION OPERATIONS W/ OWNER FOR SHUTDOWN PERIODS & SEQUENCES OF WORK. ARRANGE W/ OWNER &/OR APPROPRIATE UTILITIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATIONS. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, AND PROTECTIVE ENCLOSURES TO PROPERLY SECURE, ISOLATE, AND WATERPROOF AREAS OF WORK AND EXISTING AREAS AND ELEMENTS TO REMAIN. THE CONTRACTOR SHALL PERFORM THE WORK OF THIS CONTRACT IN A MANNER THAT CAUSES NO DISRUPTION TO THE CONTINUOUS OCCUPATION, WHEN AND WHERE APPLICABLE, OF THE BUILDING & SITE FOR THEIR INTENDED PURPOSE.
- REMOVE ALL DEMOLISHED MATERIALS IN ACCORDANCE WITH LOCAL REGULATIONS.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN THE DEMOLITION WORK. PLUMBING, ELECTRICAL, AND OTHER WORK RELATED TO A WALL, OR OTHER AREA SCHEDULED FOR DEMOLITION AND REMOVAL, SHALL BE PERFORMED WHETHER NOTED OR NOT.
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- WHERE EXISTING FINISHES ARE INDICATED TO REMAIN AS BASE MATERIAL SURFACES FOR INSTALLATION OF NEW FINISH REMOVE ALL PROJECTIONS AND VOIDS AND SECURE OR REMOVE AND REPLACE ANY EXISTING LOOSE OR OTHERWISE UNSUITABLE SUBSTRATE MATERIAL.

**TYPICAL NOTES:**

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**FIRST FLOOR PLAN**

SCALE: 1/10"=1'-0"  
ALL DIMENSIONS ARE APPROXIMATE  
REMOVE ALL EXISTING PARTITIONS FROM ALL UNITS UNLESS SPECIFICALLY SHOWN IN PLANS.

**KEY PLAN**

**PLUMBING REQUIREMENTS**  
1 TOILET FOR EVERY 30 FEMALES  
1 TOILET FOR EVERY 60 MALES, HALF OF WHICH MAY BE URINALS  
1 SINK FOR EVERY 200 OF EACH SEX

**OPTION 'A'**  
06.19.2020

**ERT architects**  
*life well designed*

architects interior designers builders

299 WHITES PATH  
SOUTH YARMOUTH,  
MASSACHUSETTS, 02664

tel (508) 362 - 8883  
(508) 760 - 2800  
fax (508) 760 - 5800  
WWW.ERTARCHITECTS.COM

**SOUTH YARMOUTH WISE LIVING RETIREMENT COMMUNITY**

822 MAIN STREET  
834 MAIN STREET  
30 FRANK BAKER ROAD  
SOUTH YARMOUTH, MA

PROJECT # 200619

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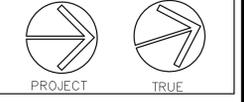
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REGISTRATION

REVISIONS

DATE:	REVISIONS:

ISSUED FOR:  
DATE:



SCALE: 1/10"=1'-0"  
UNLESS OTHERWISE NOTED.

SHEET NO.  
**A.1.1**

TOTAL NUMBER OF SHEETS IN SET:

THIS SHEET INVALID UNLESS ACCOMPANIED BY A COMPLETE SET OF WORKING DRAWINGS



**SOUTH  
YARMOUTH  
WISE  
LIVING  
RETIREMENT  
COMMUNITY**

**822  
MAIN  
STREET  
834  
MAIN  
STREET  
30  
FRANK BAKER  
ROAD  
SOUTH  
YARMOUTH,  
MA**

PROJECT # 200619

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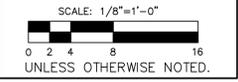
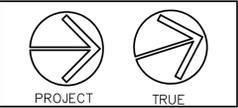
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REGISTRATION

REVISIONS

DATE:	REVISIONS:

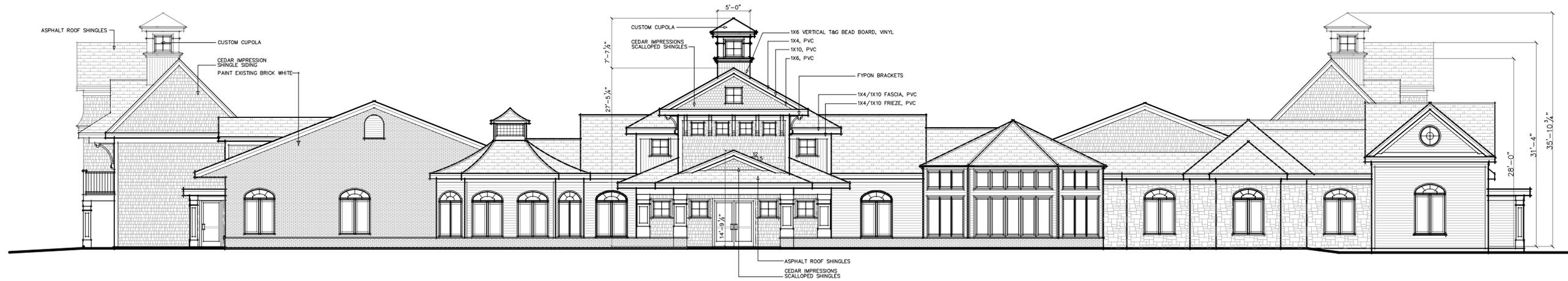
ISSUED FOR: APPROVALS  
DATE: 3.16.2020



SHEET NO.  
**A.4.1**

TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC

**OPTION 'A'**

06.19.2020

**SOUTH  
YARMOUTH  
WISE  
LIVING  
RETIREMENT  
COMMUNITY**

**822  
MAIN  
STREET  
834  
MAIN  
STREET  
30  
FRANK BAKER  
ROAD  
SOUTH  
YARMOUTH,  
MA**

PROJECT # 200619

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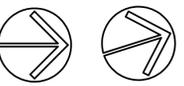
REGISTRATION

REVISIONS

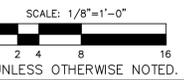
DATE: REVISIONS:

ISSUED FOR: APPROVALS

DATE: 3.16.2020



PROJECT TRUE

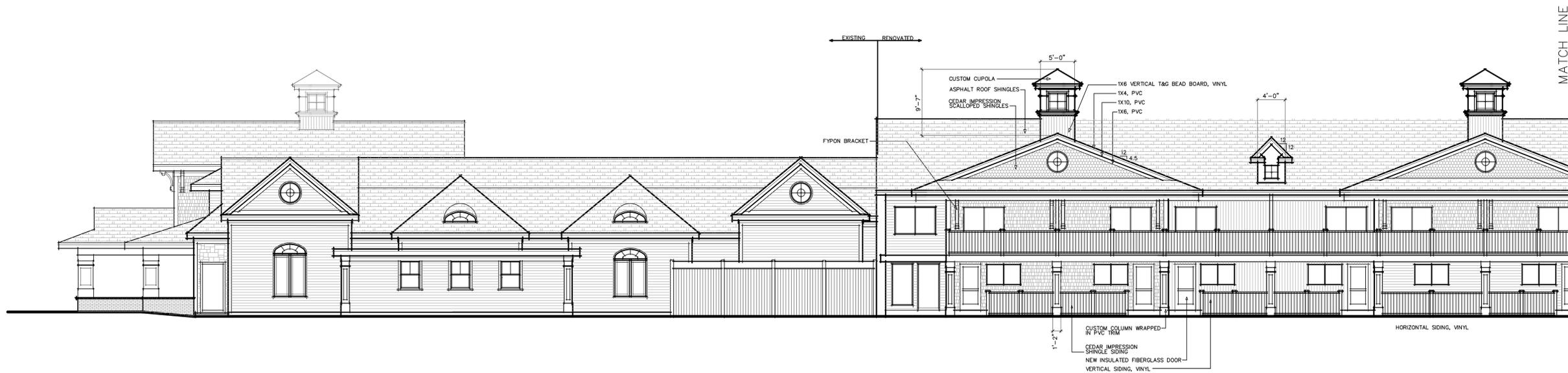


SHEET NO.

**A.4.2**

TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS



**PARTIAL EAST ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC



**PARTIAL WEST ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC

**OPTION 'A'**

06.19.2020

**SOUTH  
YARMOUTH  
WISE  
LIVING  
RETIREMENT  
COMMUNITY**

**822  
MAIN  
STREET  
834  
MAIN  
STREET  
30  
FRANK BAKER  
ROAD  
SOUTH  
YARMOUTH,  
MA**

PROJECT # 200619

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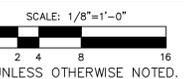
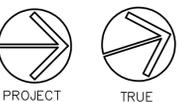
REGISTRATION

REVISIONS

DATE: REVISIONS:

ISSUED FOR:

DATE:



SHEET NO.  
**A.4.3**

TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS

MATCH LINE

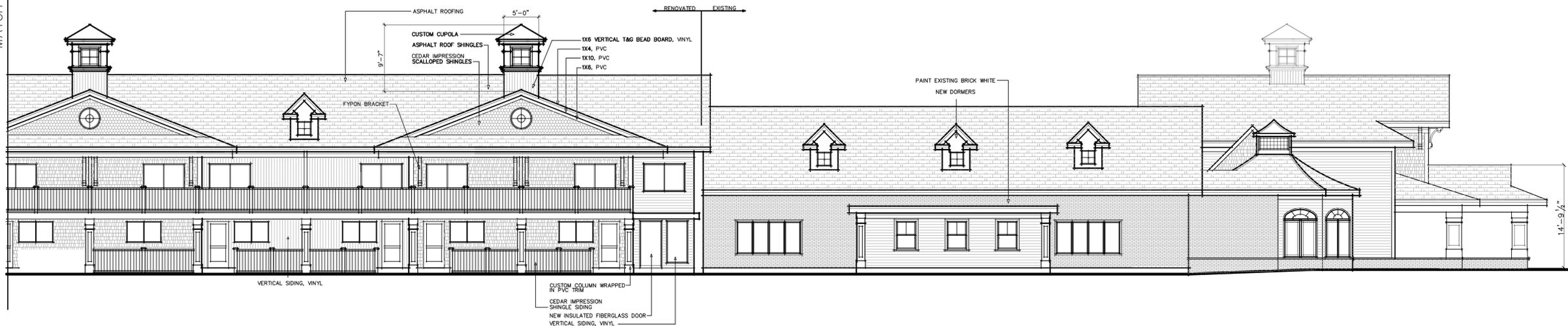


**PARTIAL EAST ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC

MATCH LINE



**PARTIAL WEST ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC

**OPTION 'A'**

06.19.2020

**SOUTH  
YARMOUTH  
WISE  
LIVING  
RETIREMENT  
COMMUNITY**

**822  
MAIN  
STREET  
834  
MAIN  
STREET  
30  
FRANK BAKER  
ROAD  
SOUTH  
YARMOUTH,  
MA**

PROJECT # 060220

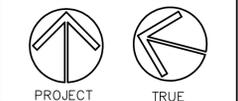
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REGISTRATION  
**SPR, DRC, PB  
APPROVAL SET  
NOT FOR  
CONSTRUCTION**

REVISIONS  
DATE: REVISIONS:  
6.8.2020 MODULATION

ISSUED FOR:  
DATE:



SCALE: 3/16"=1'-0"

SHEET NO.  
**B.1**

TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS



**OPTION 'A'**  
06.19.2020

# **OPTION B**



# Town of Yarmouth VCOD Site Plan Review Application

Option B

For Office Use Only	
Review Date:	_____
Review Time:	_____
Fee Submitted:	_____
Electronic Submissions:	_____
Hardcopy of Materials:	_____

Date: June 19, 2020

Project Name: South Yarmouth Wise Living Retirement Community

Project Address: 822 Route 28, 834 Route 28 and 30 Frank Baker Road, South Yarmouth

Assessor's Map/lot 33/70.1 & 41/12 & 41/11.1

Registry of Deeds Title Reference: 28032/179 & 25968/22 & 32123/16  
(Book/Page or LCC #):

Zoning & Overlay Districts: B2 & HMOD1 / R.O.A.D / GIZ PHASE 1 / VCOD-2

Flood Zone: X - building & parking  
AE (el 11) - rear of land Lot Size: 265,292 +/- sq.ft. (6.09 +/- acres)

Wetland Resources or Buffers on Parcel: Buffer to wetlands on adjacent property

Proposed Uses (per Table 202.5): P5 Nursing & Personal Care Facility and O1 Doctors Office

Estimated Construction Cost \$5,000,000.00

Applicant's Name: Wise Living Development LLC, Christopher D. Wise, Manager

Applicant's Address: c/o Andrew L. Singer, Esq. Law Office of Singer & Singer, LLC P.O Box 67, Dennisport, MA 02639

Applicant's Phone: c/o Andrew L. Singer: 508-398-2221 Email: c/o Andrew L. Singer: alsinger@singer-law.com

Owner or Corp. Name/Address/Phone (if different): Maclyn LLC, c/o Andrew L. Singer, Esq., John J. Hynes, Jr.,  
Trustee of 834 Main Street Realty Trust, c/o Andrew L. Singer, Esq., and Baker Frank LLC, c/o Andrew L. Singer, Esq.

Engineer/Surveyor: Kieran Healy

Eng/Surveyor Address: BSC Group 349 Main Street (Route 28) West Yarmouth, MA 02673

Eng/Surveyor Phone: 508-778-8919 Email: khealy@bscgroup.com

Architect: Erik Tolley

Architect Address: ERT Architects 299 White's Path, South Yarmouth, MA 02664

Architect Phone: 508-362-8883 Email: erik@ertarchitects.com

Brief Project Description: Please see attached Project Description and Narrative.

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List (petition number and date) and attach copies of prior Board of Appeals Petitions  
(This information can be obtained from the Board of Appeals Office)

822 Route 28: Petition No's: 1491, 1507, 1914, 1934, 2525 & 4846

834 Route 28: Petition No's: 2890, 3039 & 4846

Special Permit Relief Required from Zoning Board of Appeals, if applicable (Specify  
Section and Relief Sought):

N/A

List of Hazardous Materials and Quantities (attach if necessary):

Cleaning Supplies & Pool Maintenance

Wise Living Development LLC, Christopher D. Wise, Manager

Signature of Applicant Andrew L. Singer Date June 19, 2020  
By: Andrew L. Singer, Attorney

Signature of Owner Andrew L. Singer Date June 19, 2020  
(if not Applicant) By: Andrew L. Singer, Attorney  
Thomas MacCormick, Manager, John J. Hynes, Jr., Trustee and John J. Hynes, Jr., Manager

# Law Office of Singer & Singer, LLC

26 Upper County Road  
P. O. Box 67  
Dennisport, Massachusetts 02639

Andrew L. Singer  
Marian S. Rose

Myer R. Singer  
Of Counsel

Tel: (508) 398-2221  
Fax: (508) 398-1568  
[www.singer-law.com](http://www.singer-law.com)

## Town of Yarmouth VCOD Site Plan Review Application Option B

### Project Description and Narrative

This is an amendment request to the previously-approved South Yarmouth Wise Living Retirement Community redevelopment at the property. The project will redevelop an existing hotel property (136 original rooms, now combined as 128 rooms) in the existing building into a mixed-use Wise Living Retirement Community for senior housing with 120 units (104 studios and 16 one bedrooms), common resident dining facility, and outdoor swimming pool as well as a leased medical complex, exercise/rehab, and wading pool facilities. The use has been approved by the Planning Board and will not change.

This is Option B of a companion application with Option A, both of which the Applicant wants to review and seek approval for from the Planning Board. Option B will not require further Zoning Board of Appeals relief, but raises cost and practical issues for the redevelopment.

Except as shown on the plans and noted herein, the previously-approved aspects of the elevations for both buildings will remain the same as permitted. In addition, the proposed site upgrades remain the same as permitted. Dimensional requirements will remain conforming except as previously permitted to be varied by the Board of Appeals. Septic, drainage, stormwater, traffic, parking, driveways, access, lighting, signage, and landscaping all remain the same as previously approved by the Planning Board and, where applicable, the Board of Appeals.

Option B is similar in most regards to what was previously approved by the Board. The changes include that: 1) the bump outs on the east and west sides of the front portion of the 822 Route 28 Building have been enclosed where there used to be just overhangs with columns (conforming to design standards), 2) a new, enclosed bump out has been added to the front of the dining room on the south side of the building (conforming to design standards), and 3) the open air porches and balconies on the east and west sides of the building have been enclosed (conforming to design standards). On the 834 Route 28 Building, the changes include that: 1) the entry way on the west side of the building has been enclosed where it used to be open (conforming to design standards), and 2) a cut in with new roof line have been added on the east side of the building (conforming to design standards).

## VCOD Site Plan Review Application Checklist

- Application Form
- Fee
- One(1) original and twenty-two (22) hard copies of the required information outlined below. A Professional Land Surveyor or Professional Civil Engineer or licensed architect shall sign and date and place their seal upon all pertinent documents and plans as appropriate to their discipline. All drawings shall be prepared on standard 24" x 36" plan sheets. Site Plans shall be at a minimum scale of 1" = 40' unless otherwise specified. Elevation drawings, where required, shall be drawn at a minimum scale of 1" = 4'. Drawings may be submitted in 11x17 format if plotted at a standard scale and are fully legible. All drawings must be to scale. If 11x17 drawings are submitted, one full size set of all plans shall also be submitted.
- Digital Format of all Submittal Information: In addition to hard copies provided, all applications, supporting data, plans and specifications must be submitted in Adobe pdf digital format on CD or DVD. All site plans and architectural plans shall be included in one pdf file. Site Plans shall also be provided in AutoCad.dwg format. If requested, plans shall also be provided in the following acceptable digital formats: ESRI standard .shp or geodatabase file formats. All feature types that are shown on the recorded plans must be organized in separate layers to allow for easy viewing in digital format (e.g., right of way, buildings, lot lines, utilities, etc.). All drawing shall be geo-referenced in Mass State Plane coordinates to allow for easy integration into GIS.

The following information shall be included the submittal package:

### Basic Information (for all plans)

1.   x   Name of the proposed development.
2.   x   Name and address of property owner and applicant.
3.   x   Name, address and telephone number of person or firm preparing application plan and/or materials.
4.   x   Date of plan/materials preparation, with revision date(s) (if any).
5.   x   Graphic scale and true north arrow on any graphic representations.
6.   x   Assessors Map and lot number(s) of the parcel.

Site Information

1.   x   Regional Locus - A locus plan locating the site on the most recent USGS quadrangle map that includes a half-mile radius around the site and zoning district boundaries.
  
2.   x   Aerial Locus – The latest available aerial photograph produced at the same scale as the Regional Locus, including labeled street names.
  
3.   x   Existing Conditions Plan – The location or identification of the following features:
  - a.   x   Surveyed property boundary;
  - b.   x   Wetlands, streams, water bodies, and their regulatory buffers; other regulatory setbacks/buffers; and 100-year flood plain boundary with elevation;
  - c.   x   Zoning setbacks ;
  - d.   x   Unique natural land features, including all stonewalls, trees over eight (8) inches in diameter measured at breast height, rock outcrops, and the general location of the tree line;
  - e.   x   Adjacent streets with dimensions;
  - f.   x   Existing driveways or other means of access to and from the site with dimensions;
  - g.   x   Existing on-site structures and structures on abutting properties if within 20' of the property line;
  - h.   x   Adjacent properties including lots on the opposite sides of adjacent streets with owners' names;
  - i.   x   Any deeds of easement, rights-of-way, covenants and any other agreements connected with the site with dimensions;
  - j.   x   Existing utilities;
  - k.   x   Existing stormwater management facilities;
  - l.   x   Existing wastewater management facilities with design flow noted;
  - m.   x   Topography in two-foot intervals with spot elevations.
  
4.   x   General Proposed Development Plans (information can be contained on multiple plans)
  - a.   x   Surveyed property boundary;
  - b.   x   Wetlands, streams, water bodies, and their regulatory buffers; other regulatory setbacks/buffers; and 100-year flood plain boundary with elevation;
  - c.   x   Retained and proposed structures with height, footprint, total gross floor area, number of stories noted;
  - d.   x   If a structure is located in a setback, the measured setbacks for each structure to the nearest lot line and/or structure with

- e.   x   annotation for required zoning setback; Proposed deeds of easement, rights-of-way, covenants and any other agreements connected with the site with dimensions;
- f.   x   Stormwater management system locations with description noted (e.g., "swale", "bioretention facility", "recharge chamber", etc.)
- g.   x   Wastewater treatment facilities locations with description of the system and design flow noted;
- h.   x   Water supply infrastructure location and description;
- i.   x   Proposed telephone/electric/cable with transformer locations.
- j.   x   Delineation of landscaped areas;
- k.   x   Parking and loading areas with stall dimensions, striping, islands, walkways, and number of spaces;
- l.   x   Proposed vehicular and pedestrian connections to adjacent parcels, or identification of locations where future connections could be made.
- m.   x   Circulation features such as site access, bicycle lanes/striping, general flow of automobile traffic, stacking capacity for any drive-through lanes, bicycle racks, speed bumps, crosswalks, and sidewalks. For crosswalks and sidewalks, materials, color, finish, and dimensions shall be noted;
- n.   x   Location of waste disposal collection bins and associated screening;
- o.   x   Parking requirement calculations and description of any shared parking or off-site parking strategies with associated calculations.
- p.   x   Proposed topography in two-foot contours with spot elevations as required. All proposed first floor elevations of all buildings.
- q.   x   Summary of zoning dimensional requirements, existing and proposed, with appropriate footnotes.
- r.   x   Erosion Prevention and Sediment Control plans.

5.   x   Lighting and Signage Plan

- a.   x   The location, dimensions, height of all signs and lighting;
- b.   x   Sketches or other stock images shall be provided to show typical applications to be used for free-standing and wall mounted lights to demonstrate compliance with the VCOD standards (separate sign permits required);
- c.   x   Lighting plan showing the location of all fixtures with lumen output and foot candle intensity at property boundaries;
- d.   x   Identification of any existing signs that will be improved or replaced in order to achieve compliance with VCOD standards.

6.   x   Landscaping/Planting Plan
- a.   x   List of proposed plants in their common name and Latin name with variety, and proposed sizes;
  - b.   x   Location of each plant listed in 6a above;
  - c.   x   Parking Lot canopy calculations.
  - d.   x   Location, dimension, height, style, color, and materials for any decorative walls or fences proposed.
  - e.   x   Location, width, materials and colors of all pedestrian pathways.
  - f.   x   Location of any protective measures during construction including tree barriers.
7.   x   Building Information – The applicant shall provide the following building and architectural information:
- a.   x   Architectural elevations demonstrating compliance with the VCOD standards for materials, rooflines, fenestration, signage and entrances as applicable.
  - b.   x   Architectural first floor plans for all proposed buildings or building expansions.
  - c.   x   Identify all building materials on the plans or in a separate narrative. Provide information and material samples where applicable, or requested, on the following:
    1. *Siding: materials, color and exposure;*
    2. *Roof: material, color and exposure;*
    3. *Windows: manufacturer, style, exterior material and color, grill configuration;*
    4. *Doors: material, style and color(s);*
    5. *Trims: Materials, dimensions and color(s) for trim associated with Windows, Doors, Corner Boards, Soffit, Fascia, Frieze, Rake Boards;*
    6. *Decks: size, materials, colors;*
    7. *Stair and Deck Railings: materials, dimensions and colors of top and bottom rails, balusters and posts;*
8.   \*   Supplementary Information – The applicant shall provide a narrative report with the following information.      \*See Project Description and Plans.
- a.        Narrative summary of basic information.
  - b.        Narrative summary of existing conditions.
  - c.        Narrative summary and any additional documentation of strategy to provide water supply.
  - d.        Narrative summary and any additional documentation of strategy to treat and dispose of wastewater including a description of on-site soils, depth to groundwater throughout the site, and any test pit investigations that may have been performed.

- e. \_\_\_\_\_ Narrative summary and any additional documentation of strategy to treat and discharge stormwater and, where applicable, the relationship between the stormwater management strategy and any impairment identified on the watershed 303(d) list.
  - f. \_\_\_\_\_ All documentation for subsurface soil investigations referenced by code or key to locations of testing sites on submitted plans.
  - g. \_\_\_\_\_ Stormwater flow calculations associated with all best management practices shown on submitted plans including discharge volume calculations for design storm frequencies, peak discharge rates for design storm frequencies, and soil percolation rates. Stormwater runoff calculations shall be conducted in HydroCad or similar software program using TR-20 or TR-55.
  - h. \_\_\_\_\_ Maintenance plans associated with all on-site utilities, responsible parties, descriptions of associated covenants, and funding sources where applicable.
  - i. \_\_\_\_\_ Calculations associated with wastewater design flows.
  - j. \_\_\_\_\_ Description of proposed phasing (if any).
  - k. \_\_\_\_\_ Description of compliance with inclusionary zoning requirements [Sections 412.2 and 414.5.2.3].
  - l. \_\_\_\_\_ Narrative description of the use of any open space including the uses that are proposed, the management structure for the open space, and a description of the restrictions that will be placed upon the open space area as applicable.
9. \_\_\_\_\_ If requested by the Planning Board, the application shall also include a Technical Review Fee to cover the review of specific design or engineering elements of the proposed development subject to MGL Chapter 44, Section 53G.

**PROPOSED LOT / BUILDING COVERAGE**

MAXIMUM LOT COVERAGE ALLOWED:	80%
EXISTING LOT COVERAGE:	158,276± S.F. (59.7%)
PROPOSED LOT COVERAGE:	157,970± S.F. (59.6%)
MAXIMUM BLD COVERAGE ALLOWED:	25%
EXISTING BLD COVERAGE:	64,856± S.F. (24.45%)
PROPOSED BLD COVERAGE:	66,259± S.F. (24.98%)

**NOTES:**

- 1.) THIS PLAN IS BASED ON SURVEY FIELD WORK PERFORMED BETWEEN 2006 AND 2013 AND FIELD CHECKED IN NOVEMBER OF 2019 THROUGH JANUARY OF 2020.
- 2.) WETLAND FLAG LOCATIONS ARE BASED ON 2013 LOCATIONS. THE DELINEATION HAS NOT BEEN UPDATED AT THIS TIME AS THEIR IS NO WORK BEING PERFORMED OUTSIDE OF THE EXISTING BUILDING AND PAVEMENT WITHIN 100' OF THE PREVIOUS WETLAND DELINEATION.
- 3.) A LIMIT FIELD SURVEY WAS PREVIOUSLY PERFORMED AT #30 FRANK BAKER ROAD AS NO CONSTRUCTION IS PROPOSED ON THIS PORTION OF THE LOT AT THIS TIME WITH THE EXCEPTION OF THE REVISED DUMPSTER PAD LOCATION.
- 4.) #822, #834 AND #30 ARE TO BE COMBINED AND WILL HAVE A TOTAL LAND AREA OF 6.09± ACRES.
- 5.) MINOR INCREASES TO THE IMPERVIOUS COVERAGE IS PROPOSED AND AS A RESULT NO DRAINAGE MODIFICATIONS ARE PROPOSED.
- 6.) THE EXISTING PAVEMENT IS TO REMAIN BUT WILL HAVE MINOR CHANGES TO ALLOW FOR INTERIOR SITE ACCESS AND FOR HANDICAPPED ACCESSIBLE ENTRANCEWAYS AND GENERAL REPAIR / SEAL-COATING AS NEEDED.
- 7.) THE EXISTING BUILDING IS A TWO STORY BUILDING AND ROOF MODIFICATION WILL BE THE ADDITION OF FACADES TO ENHANCE THE BUILDING.
- 8.) THE PARKING LOT CANOPY IS CALCULATED BASED ON PARKING AREAS ONLY. INSPECTION AND CALCULATIONS WERE PERFORMED IN JANUARY OF 2020 WHERE THE CANOPY WAS BASED ON VISIBLE EVIDENCE OF BRANCHES.
- 9.) SEE ATTACHED LIGHT DESIGN BY OTHERS FOR LIGHT FIXTURES AND COVERAGE.

**PROPOSED CANOPY CALCULATIONS**

#822	PARKING AREA 26,920± S.F.
#834	PARKING AREA 5,107± S.F.
TOTAL PARKING AREA:	32,027± S.F.
CANOPY REQUIRED:	32,027± S.F. x 30% = 9,608± S.F.
PARKING CANOPY PROVIDED:	12,700± S.F. (39.6%)

**LANDSCAPE OPENSAPCE CALCULATIONS**

TOTAL PARKING AREA:	32,027± S.F.
OPEN SPACE REQUIRED:	32,027± S.F. x 10% = 3,203± S.F.
OPEN SPACE PROVIDED:	4,400± S.F. (13.7%)

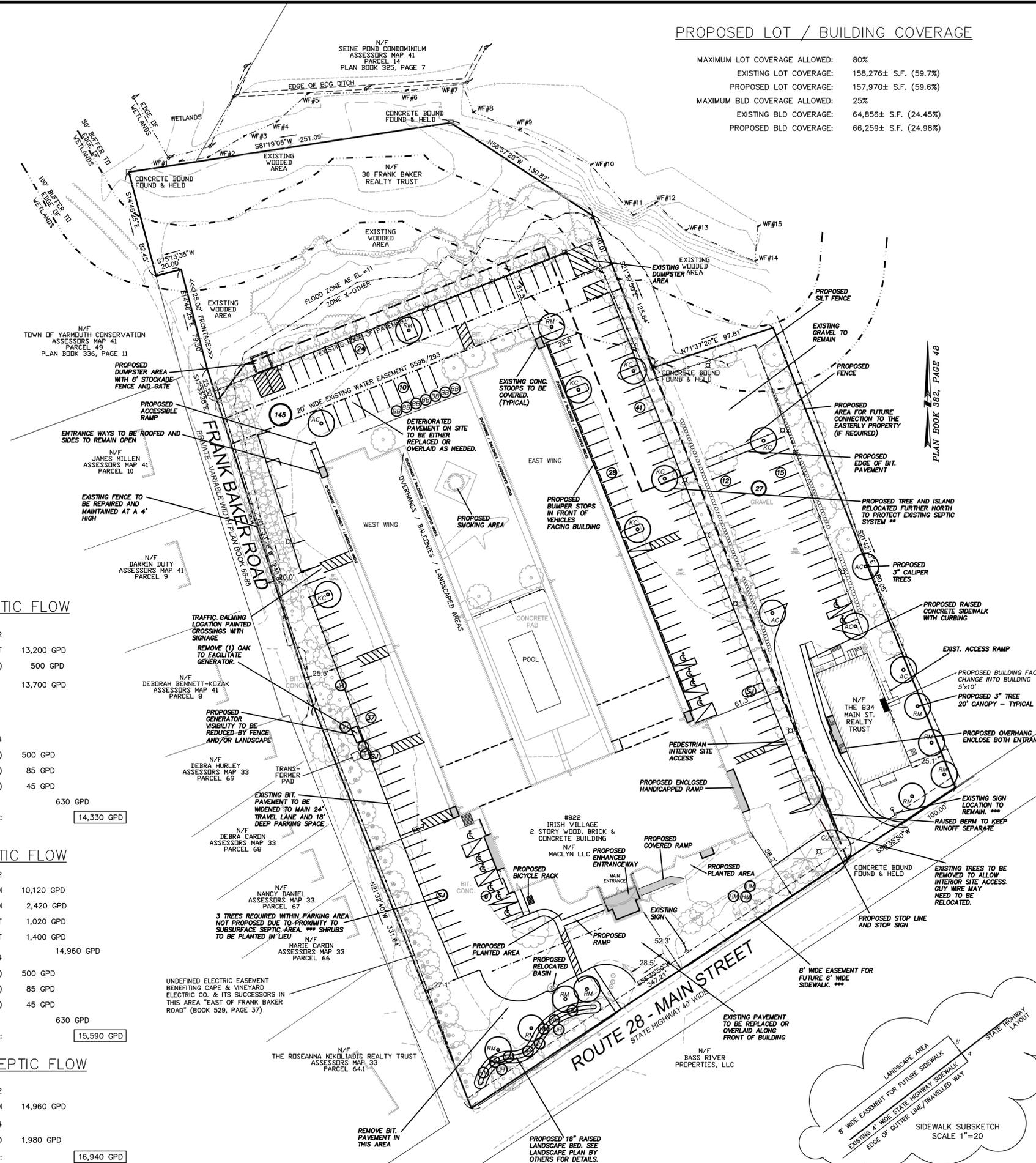
**PROPOSED PARKING**

#822		
P5 - INSTITUTIONAL SERVICES		
120 SENIOR HOUSING UNITS		
120 UNITS / 0.87 (105 SPACES)		
6 OFFICE STAFF (6) SPACES		
8 KITCHEN STAFF (8) SPACES		
2 MAINTENANCE STAFF (2) SPACES		
20 VISITORS / CNA'S (20) SPACES	141 SPACES	
01 - DOCTORS OFFICE		
4800 S.F. OF SPACE		
1 SPACE PER 400 S.F.	12 SPACES	
		153 SPACES
#834		
J3 BEAUTY SHOP		
HAIRDRESSER (5 CHAIRS)	15 SPACES	
5 STAFF (5) SPACES		
10 CUSTOMERS (10) SPACES		
RETAIL (1,700 S.F. @700/S.F.)	3 SPACES	
OFFICE (600 S.F. @1400 S.F.)	2 SPACES	
		20 SPACES
TOTAL REQUIRED:		173 SPACES
TOTAL PROPOSED:		173 SPACES
PRIOR PARKING:		204 SPACES

**IN-LOT TREE REQUIREMENTS**

AS DEPICTED 11 ADDITIONAL

**ISSUED FOR PERMITTING  
NOT FOR CONSTRUCTION**



**PROPOSED SEPTIC FLOW**

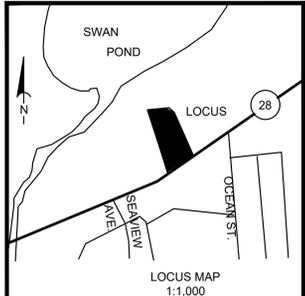
#822		
120 UNITS (110 GPD / UNIT)	13,200 GPD	
2 DOCTORS (250 GPD / DOCTOR)	500 GPD	
		13,700 GPD
#834		
HAIRDRESSER (5 CHAIRS @100GPD)	500 GPD	
RETAIL (1,700 S.F. @50GPD/1000S.F.)	85 GPD	
OFFICE (600 S.F. @75GPD/1000S.F.)	45 GPD	
		630 GPD
TOTAL PROPOSED:		14,330 GPD

**EXISTING SEPTIC FLOW**

#822		
92 MOTEL UNITS (110 GPD / ROOM)	10,120 GPD	
22 ONE BED-SUITES (110 GPD / ROOM)	2,420 GPD	
LOUNGE 51 SEATS (20 GPD / SEAT)	1,020 GPD	
DINING 40 SEATS (35 GPD / SEAT)	1,400 GPD	
		14,960 GPD
#834		
HAIRDRESSER (5 CHAIRS @100GPD)	500 GPD	
RETAIL (1,700 S.F. @50GPD/1000S.F.)	85 GPD	
OFFICE (600 S.F. @75GPD/1000S.F.)	45 GPD	
		630 GPD
TOTAL EXISTING:		15,590 GPD

**APPROVED 1995 SEPTIC FLOW**

#822		
136 MOTEL UNITS @110 GPD / ROOM	14,960 GPD	
#834		
99 SEAT BAR/CLUB @ 20GPD	1,980 GPD	
		16,940 GPD
TOTAL EXISTING:		16,940 GPD



BRIAN G. YERGATIAN  
PROFESSIONAL ENGINEER

**WISE LIVING  
RETIREMENT  
COMMUNITY**  
822 ROUTE 28  
IN  
SOUTH YARMOUTH  
MASSACHUSETTS  
(BARNSTABLE COUNTY)

**SITE PLAN  
OPTION "B"**  
FEBRUARY 20, 2020

REVISIONS:

NO.	DATE	DESC.
1	3/3/2020	REMOVE PARKING IN FRONT DR & SPR COMMENTS
2	3/11/2020	PARKING CALCULATIONS
3	4/6/2020	ZONING RELIEF REQUIRED
4	4/16/2020	PLANNING BOARD REQ'
5	6/18/2020	OPTION "B" COMPLIANT

PREPARED FOR:  
JOHN HYNES  
343 ROUTE 28  
WEST YARMOUTH, MA 02673  
508-737-9644

**BSC GROUP**  
349 Main Street - Route 28  
West Yarmouth, Massachusetts  
02673  
508 778 8919

© 2020 The BSC Group, Inc.  
SCALE: 1" = 40'  
0 20 40 80 FEET  
FILE: Projects-YAR\49382.02\Civil\Draw\4938202-A3.dwg  
DWG: 5923-08  
JOB: NO: 4-9382.03

S-2B-B

**SOUTH YARMOUTH  
WISE LIVING  
RETIREMENT COMMUNITY**

**822  
MAIN STREET  
834  
MAIN STREET  
30  
FRANK BAKER  
ROAD  
SOUTH YARMOUTH,  
MA**

PROJECT # 200619

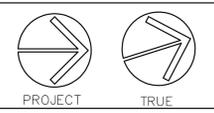
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THESE PLANS ARE NOT TO BE USED FOR PERMITTING OR CONSTRUCTION PURPOSES UNLESS STAMPED & SIGNED WITH AN ORIGINAL ARCHITECT'S STAMP AND SIGNATURE & MARKED AS "PERMIT SET" OR "CONSTRUCTION SET".

REGISTRATION

REVISIONS  
DATE: 6.8.2020 REVISIONS: MODULATION

ISSUED FOR:  
DATE:

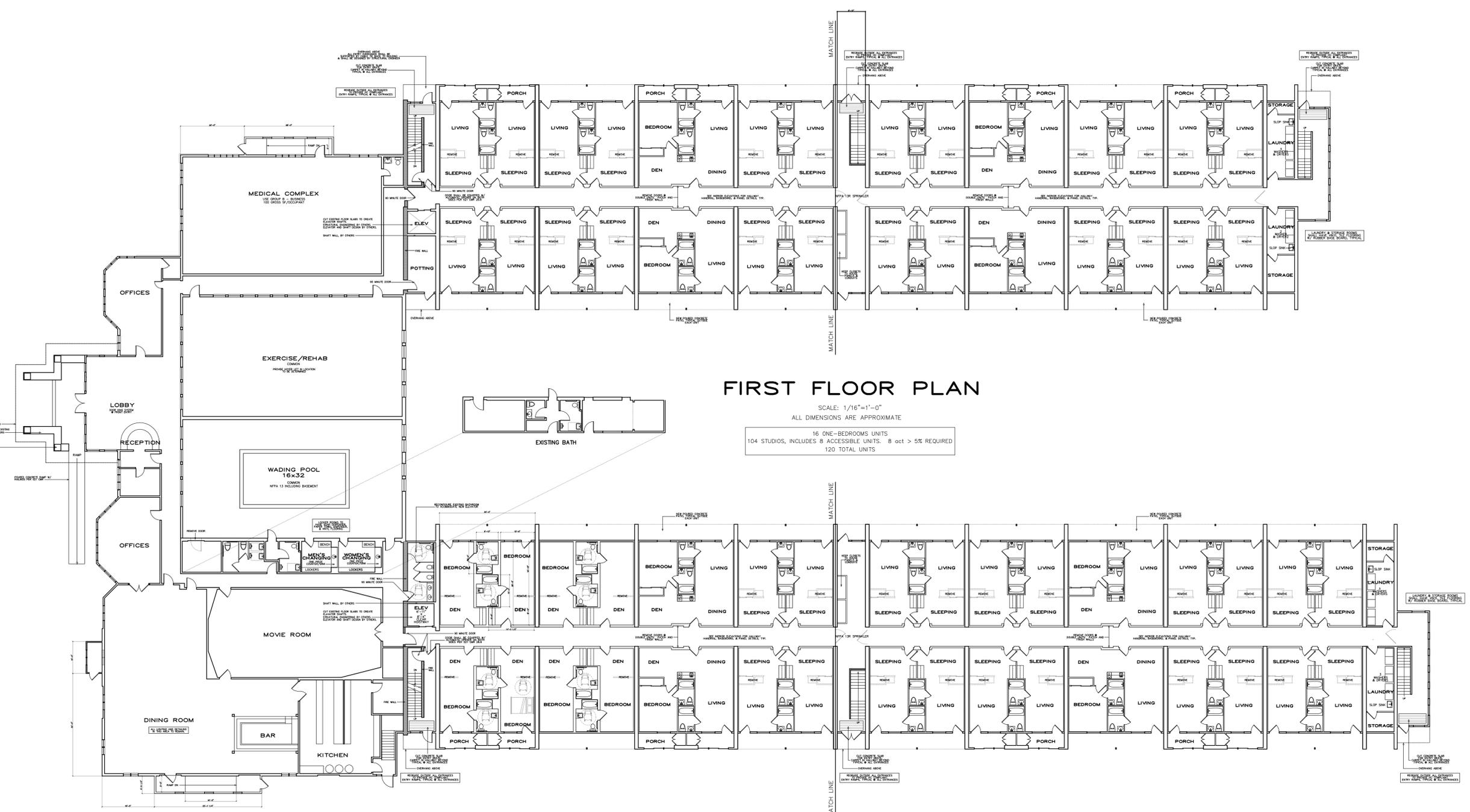


SCALE: 1/16"=1'-0"  
0 4 8 16 32  
UNLESS OTHERWISE NOTED.

SHEET NO.  
**A.1**

TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID UNLESS ACCOMPANIED BY A COMPLETE SET OF WORKING DRAWINGS



**FIRST FLOOR PLAN**

SCALE: 1/16"=1'-0"  
ALL DIMENSIONS ARE APPROXIMATE

16 ONE-BEDROOMS UNITS  
104 STUDIOS, INCLUDES 8 ACCESSIBLE UNITS. 8 oct > 5% REQUIRED  
120 TOTAL UNITS

**TYPICAL NOTES:**

1. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE VERIFICATION OF THE CONDITION OF ANY EXISTING STRUCTURE, EQUIPMENT OR APPLIANCE AS PART OF BASIC SERVICES UNLESS IT IS PART OF ARCHITECT'S SCOPE STATED IN THE AGREEMENT AND VERIFICATION IS MADE ONLY BY VISUAL OBSERVATION. IF THE ARCHITECT'S DOCUMENTS REQUIRE CHANGES DUE TO CONDITIONS NOT VISUALLY OBSERVABLE AT THE TIME OF PREPARATION OF THESE DOCUMENTS, THE SERVICES WILL BE ADDITIONAL SERVICES.
2. STRUCTURAL ENGINEER OR ARCHITECT SHALL PERFORM FRAMING INSPECTION WHEN FRAMING IS COMPLETE AND PRIOR TO ENCLOSURE BY INTERIOR WALL PLASTER BOARD/JITCH.
3. CONTRACTOR SHALL SCHEDULE AND PROTECT FROM WEATHER ALL EXISTING HOUSE COMPONENTS AND INTERIORS DURING CONSTRUCTION AND CONSTRUCT TEMPORARY STRUCTURES/ENCLOSURES AS MAY BE NECESSARY TO MAINTAIN SUCH PROTECTION THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL SITE INSPECT ALL EXISTING VS. PROPOSED CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR CHANGES THAT MAY BE ENCOUNTERED.
5. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN TEMPORARY WALLS/SHORING ETC. TO MAINTAIN/PROTECT EXISTING HOUSE AND STRUCTURAL INTEGRITY OF EXISTING HOUSE.
6. DRAWINGS DEMONSTRATE DESIGN INTENT. CONTRACTOR SHALL SITE INSPECT/VERIFY ALL EXISTING VS. PROPOSED CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND MAKE ADJUSTMENTS AS NECESSARY, W/ ARCHITECT'S APPROVAL, TO ENSURE COMPLIANCE WITH DESIGN INTENT.
7. DASHED LINES INDICATED EXISTING CONDITIONS TO BE REMOVED/ALTERED.
8. WHERE AN ITEM IS REFERRED TO IN SINGULAR NUMBER IN THE CONTRACT DOCUMENTS, PROVIDE AS MANY SUCH ITEMS AS ARE NECESSARY TO COMPLETE THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SHALL BE EXCLUSIVELY RESPONSIBLE FOR ITS CONSTRUCTION MEANS, METHODS, SEQUENCES, WARRANTIES, AND PROCEDURES, AND FOR CONSTRUCTION SAFETY.

**DEMOLITION NOTES:**

1. CONTRACTOR SHALL VISIT THE SITE TO VERIFY AND BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR SHALL IDENTIFY ALL EXISTING ITEMS OF WORK SCHEDULED TO REMAIN OR SALVAGED FOR REUSE.
2. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE W/ STATE & LOCAL REGULATIONS. CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED DEMOLITION PERMITS.
3. COORDINATE ALL DEMOLITION OPERATIONS W/ OWNER FOR SHUTDOWN PERIODS & SEQUENCES OF WORK. ARRANGE BY OWNER AND/OR APPROPRIATE UTILITIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATIONS. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, AND PROTECTIVE ENCLOSURES TO PROTECT AND SECURE ISOLATE AND WATERPROOF AREAS OF WORK AND EXISTING AREAS AND ELEMENTS TO REMAIN. THE CONTRACTOR SHALL PERFORM THE WORK OF THIS CONTRACT IN A MANNER THAT CAUSES NO OBSTRUCTION TO THE CONTINUOUS OCCUPATION, WHEN AND WHERE APPLICABLE, OF THE BUILDING & SITE FOR THEIR INTENDED PURPOSES.
4. REMOVE ALL DEMOLISHED MATERIALS IN ACCORDANCE WITH LOCAL REGULATIONS.
5. IT IS NOT THE INTENT TO SHOW EVERY PRICE OR ITEM TO BE REMOVED IN THE DEMOLITION WORK. PLUMBING, ELECTRICAL, AND OTHER WORK RELATED TO A WALL, OR OTHER AREA SCHEDULED FOR DEMOLITION AND REMOVAL, SHALL BE PERFORMED WHETHER NOTED OR NOT.
6. THE EXTENT OF ALL SPECIFIC DEMOLITION WORK SHALL BE COORDINATED W/ THE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL PATCH/REPAIR/REFINISH, AS REQUIRED, ALL SURFACES EXPOSED BY DEMOLITION WORK WITH MATERIALS & METHODS TO MATCH FINISH AND MAKE GOOD W/ EXISTING ADJACENT SURFACES. WORK SHALL INCLUDE ALL LABOR & MATERIALS ON ALL SURFACES REQUIRED TO REPAIR SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
8. CAP & REMOVE ALL ABANDONED ELECTRICAL, PLUMBING, MECHANICAL, AND FIRE PROTECTION ITEMS BACK TO SOURCE.
9. WHERE EXISTING FINISHES ARE INDICATED TO REMAIN AS BASE MATERIAL SURFACES FOR INSTALLATION OF NEW FINISH, REMOVE ALL PROJECTIONS AND Voids AND SECURE OR REMOVE AND REPLACE ANY EXISTING LOOSE OR OTHERWISE UNSUITABLE SUBSTRATE MATERIAL.

**OPTION 'B'**

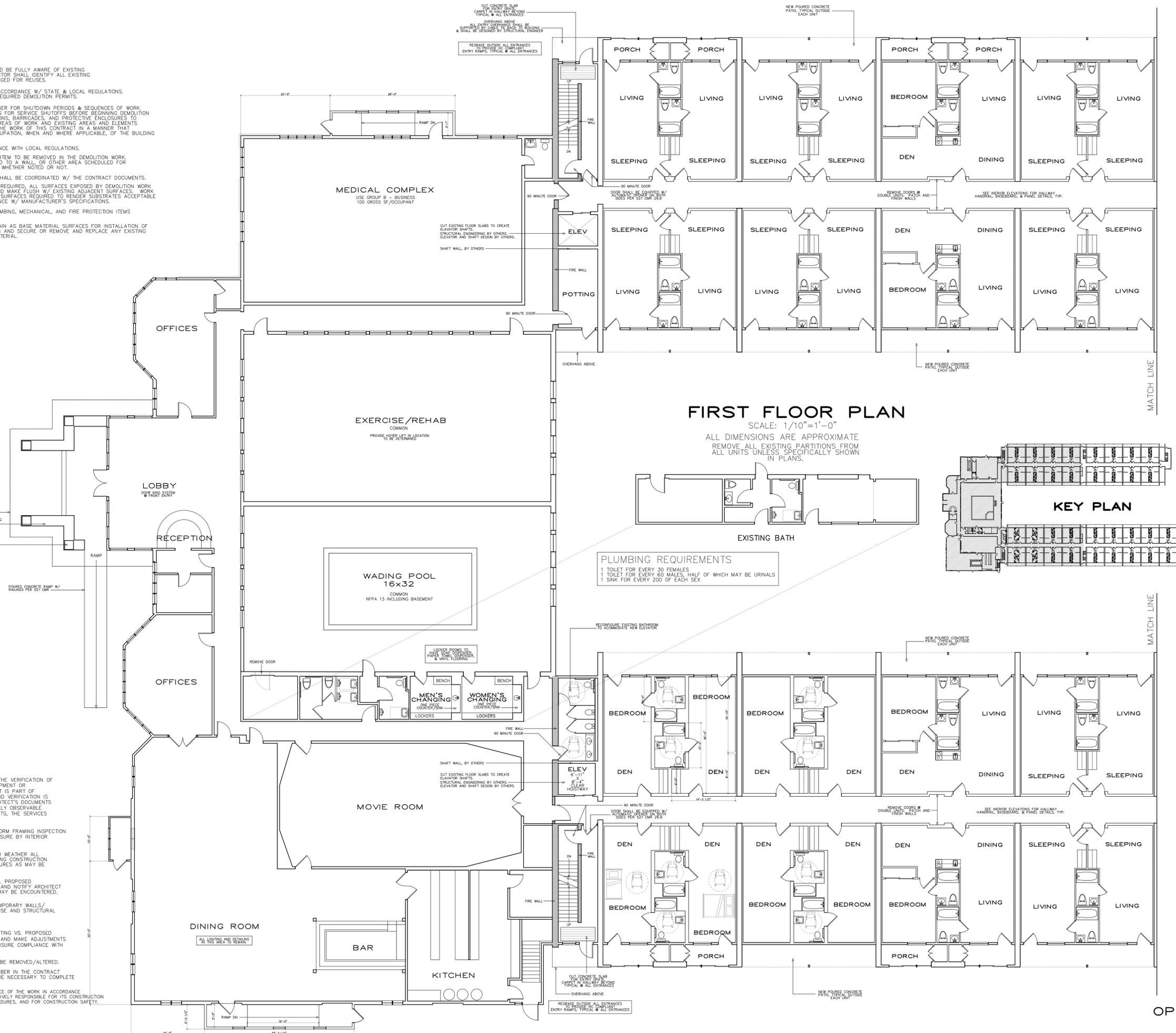
06.19.2020

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- REMOVE ALL DEMOLISHED MATERIALS IN ACCORDANCE WITH LOCAL REGULATIONS.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN THE DEMOLITION WORK. PLUMBING, ELECTRICAL, AND OTHER WORK RELATED TO A WALL, OR OTHER AREA SCHEDULED FOR DEMOLITION AND REMOVAL, SHALL BE PERFORMED WHETHER NOTED OR NOT.
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**FIRST FLOOR PLAN**  
SCALE: 1/10"=1'-0"

ALL DIMENSIONS ARE APPROXIMATE  
REMOVE ALL EXISTING PARTITIONS FROM ALL UNITS UNLESS SPECIFICALLY SHOWN IN PLANS.

**KEY PLAN**

**PLUMBING REQUIREMENTS**  
1 TOILET FOR EVERY 30 FEMALES  
1 TOILET FOR EVERY 60 MALES, HALF OF WHICH MAY BE URINALS  
1 SINK FOR EVERY 200 OF EACH SEX

**OPTION 'B'**  
06.19.2020

**ERT architects**  
*life well designed*

architects interior designers builders

299 WHITE'S PATH  
SOUTH YARMOUTH,  
MASSACHUSETTS, 02664

tel (508) 362 - 8883  
(508) 740 - 2800  
fax (508) 740 - 5800  
WWW.ERTARCHITECTS.COM

**SOUTH YARMOUTH WISE LIVING RETIREMENT COMMUNITY**

822 MAIN STREET  
834 MAIN STREET  
30 FRANK BAKER ROAD  
SOUTH YARMOUTH, MA

PROJECT # 200619

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REGISTRATION


REVISIONS

DATE:	REVISIONS:
6.8.2020	MODULATION

ISSUED FOR:  
DATE:

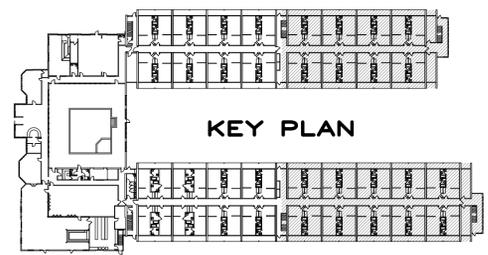
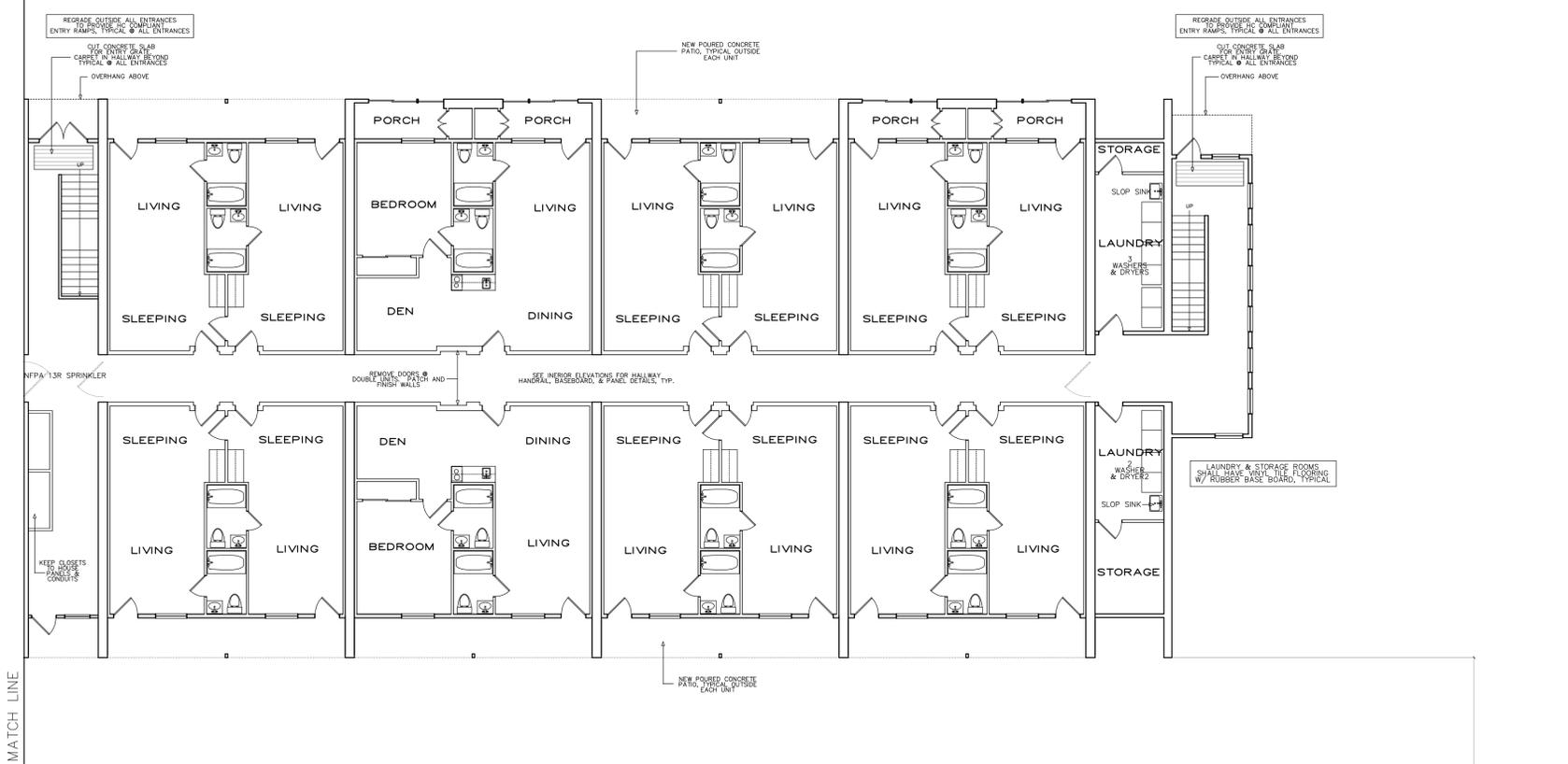
PROJECT TRUE

SCALE: 1/10"=1'-0"  
0 2.5 5 10 20  
UNLESS OTHERWISE NOTED.

SHEET NO.  
**A.1.1**

TOTAL NUMBER OF SHEETS IN SET:

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**FIRST FLOOR PLAN**

SCALE: 1/10"=1'-0"

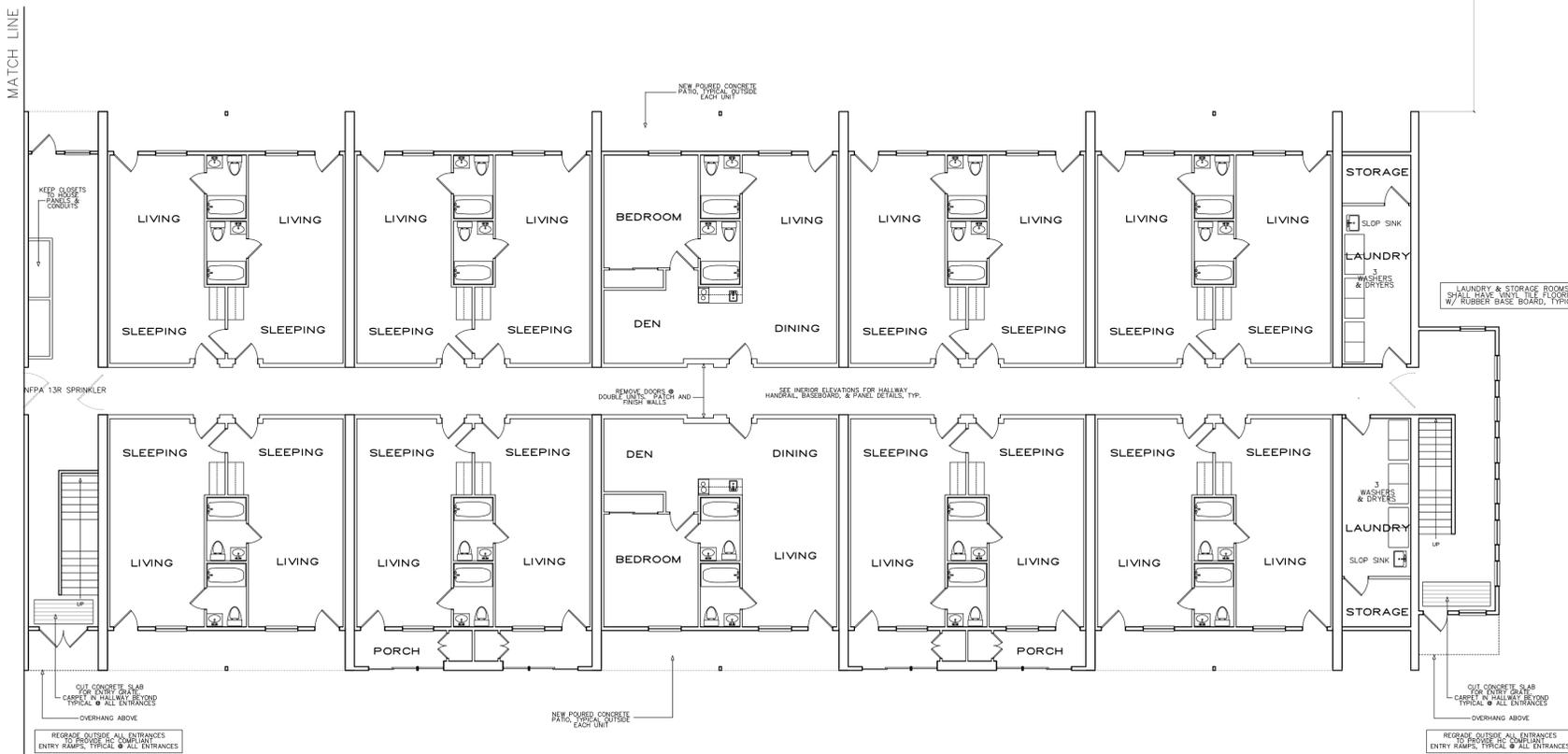
ALL DIMENSIONS ARE APPROXIMATE  
REMOVE ALL EXISTING PARTITIONS FROM ALL UNITS UNLESS SPECIFICALLY SHOWN IN PLANS.

**DEMOLITION NOTES:**

- CONTRACTOR SHALL VISIT THE SITE TO VERIFY AND BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR SHALL IDENTIFY ALL EXISTING ITEMS OF WORK SCHEDULED TO REMAIN OR SALVAGED FOR REUSE.
- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE W/ STATE & LOCAL REGULATIONS. CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED DEMOLITION PERMITS.
- COORDINATE ALL DEMOLITION OPERATIONS W/ OWNER FOR SHUTDOWN PERIODS & SEQUENCES OF WORK. ARRANGE W/ OWNER &/OR APPROPRIATE UTILITIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATIONS. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, AND PROTECTIVE ENCLOSURES TO PROPERLY SECURE, ISOLATE, AND WATERPROOF AREAS OF WORK AND EXISTING AREAS AND ELEMENTS TO REMAIN. THE CONTRACTOR SHALL PERFORM THE WORK OF THIS CONTRACT IN A MANNER THAT CAUSES NO DISRUPTION TO THE CONTINUOUS OCCUPATION, WHEN AND WHERE APPLICABLE, OF THE BUILDING & SITE FOR THEIR INTENDED PURPOSE.
- REMOVE ALL DEMOLISHED MATERIALS IN ACCORDANCE WITH LOCAL REGULATIONS.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN THE DEMOLITION WORK. PLUMBING, ELECTRICAL, AND OTHER WORK RELATED TO A WALL, OR OTHER AREA SCHEDULED FOR DEMOLITION AND REMOVAL, SHALL BE PERFORMED WHETHER NOTED OR NOT.
- THE EXTENT OF ALL SPECIFIC DEMOLITION WORK SHALL BE COORDINATED W/ THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PATCH/REPAIR/REFINISH, AS REQUIRED, ALL SURFACES EXPOSED BY DEMOLITION WORK WITH MATERIALS & METHODS TO MATCH FINISH AND MAKE FLUSH W/ EXISTING ADJACENT SURFACES. WORK SHALL INCLUDE ALL LABOR & MATERIALS ON ALL SURFACES REQUIRED TO RENDER SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
- CAP & REMOVE ALL ABANDONED ELECTRICAL, PLUMBING, MECHANICAL, AND FIRE PROTECTION ITEMS BACK TO SOURCE.
- WHERE EXISTING FINISHES ARE INDICATED TO REMAIN AS BASE MATERIAL SURFACES FOR INSTALLATION OF NEW FINISH, REMOVE ALL PROJECTIONS AND VOIDS AND SECURE OR REMOVE AND REPLACE ANY EXISTING LOOSE OR OTHERWISE UNSUITABLE SUBSTRATE MATERIAL.

**TYPICAL NOTES:**

- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE VERIFICATION OF THE CONDITION OF ANY EXISTING STRUCTURE, EQUIPMENT OR APPLIANCE AS PART OF BASIC SERVICES UNLESS IT IS PART OF ARCHITECT'S SCOPE STATED IN THE AGREEMENT AND VERIFICATION IS MADE ONLY BY VISUAL OBSERVATION. IF THE ARCHITECT'S DOCUMENTS REQUIRE CHANGES DUE TO CONDITIONS NOT VISUALLY OBSERVABLE AT THE TIME OF PREPARATION OF THESE DOCUMENTS, THE SERVICES WILL BE ADDITIONAL SERVICES.
- STRUCTURAL ENGINEER OR ARCHITECT SHALL PERFORM FRAMING INSPECTION WHEN FRAMING IS COMPLETE AND PRIOR TO ENCLOSURE BY INTERIOR WALL PLASTER BOARD/FINISH.
- CONTRACTOR SHALL SCHEDULE AND PROTECT FROM WEATHER ALL EXISTING HOUSE COMPONENTS AND INTERIORS DURING CONSTRUCTION AND CONSTRUCT TEMPORARY STRUCTURES/ENCLOSURES AS MAY BE NECESSARY TO INSURE SUCH PROTECTION.
- CONTRACTOR SHALL SITE INSPECT ALL EXISTING VS. PROPOSED CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR CHANGES THAT MAY BE ENCOUNTERED.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN TEMPORARY WALLS/SHORING ETC. TO MAINTAIN/PROTECT EXISTING HOUSE AND STRUCTURAL INTEGRITY OF EXISTING HOUSE.
- DRAWINGS DEMONSTRATE DESIGN INTENT. CONTRACTOR SHALL SITE INSPECT/VERIFY ALL EXISTING VS. PROPOSED CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND MAKE ADJUSTMENTS AS NECESSARY, W/ ARCHITECT'S APPROVAL, TO ENSURE COMPLIANCE WITH DESIGN INTENT.
- DASHED LINES INDICATED EXISTING CONDITIONS TO BE REMOVED/ALTERED.
- WHERE AN ITEM IS REFERRED TO IN SINGULAR NUMBER IN THE CONTRACT DOCUMENTS, PROVIDE AS MANY SUCH ITEMS AS ARE NECESSARY TO COMPLETE THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SHALL BE EXCLUSIVELY RESPONSIBLE FOR ITS CONSTRUCTION MEANS, METHODS, SEQUENCES, WARRANTIES, AND PROCEDURES, AND FOR CONSTRUCTION SAFETY.



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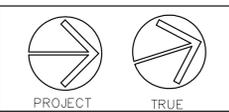
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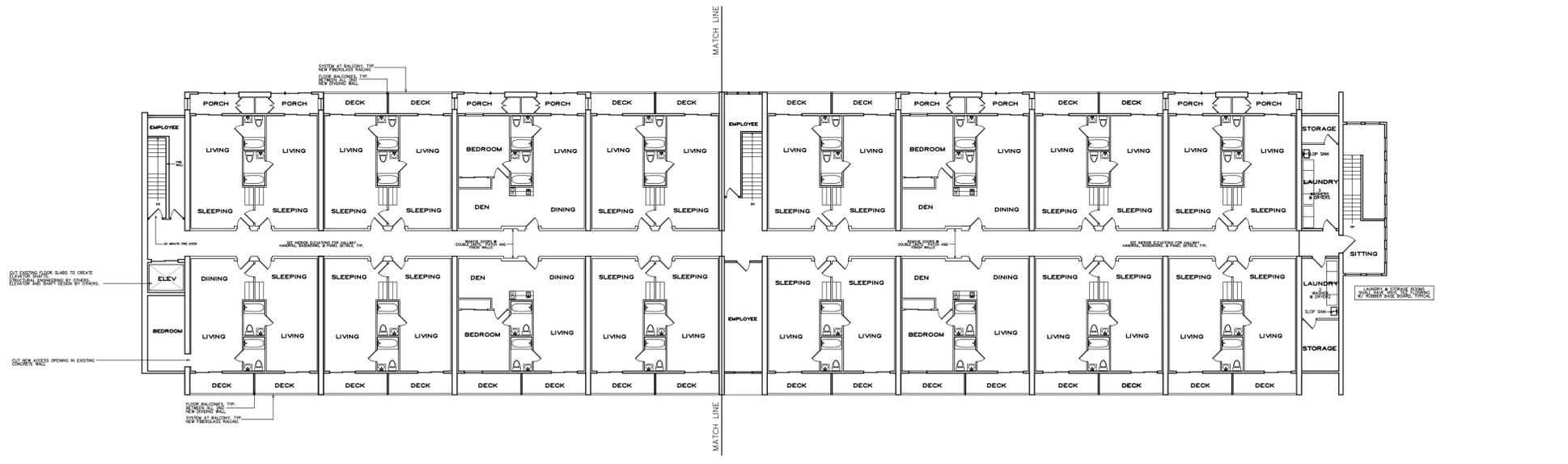


SCALE: 1/16"=1'-0"  
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UNLESS OTHERWISE NOTED.

SHEET NO.  
**A.2**

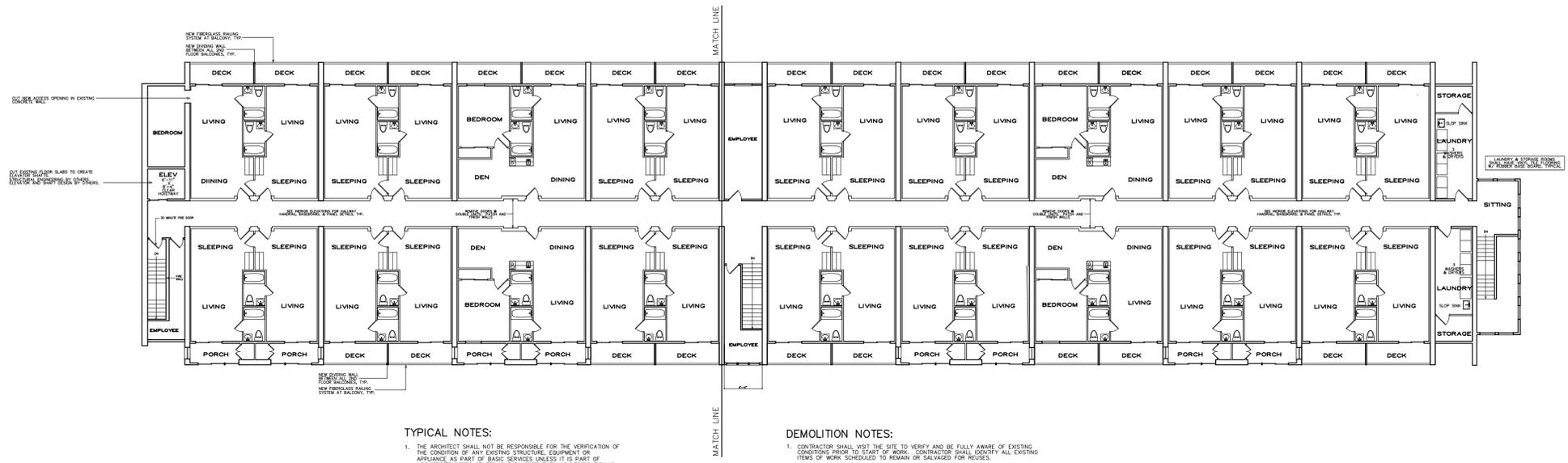
TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS



**SECOND FLOOR PLAN**

SCALE: 1/16"=1'-0"  
ALL DIMENSIONS ARE APPROXIMATE



**TYPICAL NOTES:**

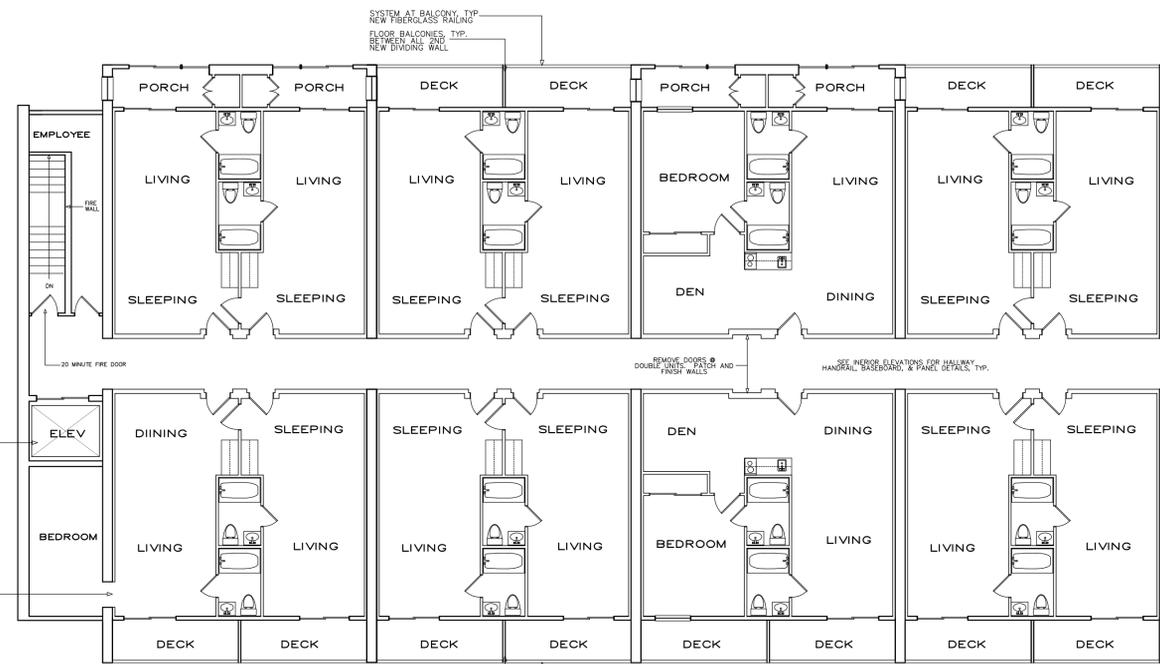
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2. STRUCTURAL ENGINEER OR ARCHITECT SHALL PERFORM FRAMING INSPECTION WHEN FRAMING IS COMPLETE AND PRIOR TO ENCLOSURE BY INTERIOR WALL PLASTER BOARD/FINISH.
3. CONTRACTOR SHALL SCHEDULE AND PROTECT FROM WEATHER ALL EXISTING HOUSE COMPONENTS AND INTERIORS DURING CONSTRUCTION AND CONSTRUCT TEMPORARY STRUCTURES/ENCLOSURES AS MAY BE NECESSARY TO INSURE SUCH PROTECTION.
4. CONTRACTOR SHALL SITE INSPECT ALL EXISTING VS. PROPOSED CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR CHANGES THAT MAY BE ENCOUNTERED.
5. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN TEMPORARY WALLS/SHEDS ETC. TO MAINTAIN/PROTECT EXISTING HOUSE AND STRUCTURAL INTEGRITY OF EXISTING HOUSE.
6. DRAWINGS DEMONSTRATE DESIGN INTENT. CONTRACTOR SHALL SITE INSPECT/VERIFY ALL EXISTING VS. PROPOSED CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND MAKE ADJUSTMENTS AS NECESSARY, W/ ARCHITECT'S APPROVAL, TO ENSURE COMPLIANCE WITH DESIGN INTENT.
7. DASHED LINES INDICATED EXISTING CONDITIONS TO BE REMOVED/ALTERED.
8. WHERE AN ITEM IS REFERRED TO IN SINGULAR NUMBER IN THE CONTRACT DOCUMENTS, PROVIDE AS MANY SUCH ITEMS AS ARE NECESSARY TO COMPLETE THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SHALL BE EXCLUSIVELY RESPONSIBLE FOR ITS CONSTRUCTION MEANS, METHODS, SEQUENCES, WARRANTIES, AND PROCEDURES, AND FOR CONSTRUCTION SAFETY.

**DEMOLITION NOTES:**

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3. COORDINATE ALL DEMOLITION OPERATIONS W/ OWNER FOR SHUTDOWN PERIODS & SEQUENCES OF WORK. ARRANGE BY OWNER & OWNER APPROPRIATE QUALITY CONTROL SURVEYS BEFORE BEGINNING DEMOLITION OPERATIONS. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, AND PROTECTIVE ENCLOSURES TO PROPERLY SECURE, ISOLATE, AND WATERPROOF AREAS OF WORK AND EXISTING AREAS AND ELEMENTS TO REMAIN. THE CONTRACTOR SHALL PERFORM THE WORK OF THIS CONTRACT IN A MANNER THAT CAUSES NO INTERFERENCE TO THE CONTINUOUS OCCUPATION, WHEN AND WHERE APPLICABLE, OF THE BUILDING & SITE FOR THEIR INTENDED PURPOSE.
4. REMOVE ALL DEMOLISHED MATERIALS IN ACCORDANCE WITH LOCAL REGULATIONS.
5. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN THE DEMOLITION WORK. PLUMBING, ELECTRICAL, AND OTHER WORK RELATED TO A WALL OR OTHER AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER NOTED OR NOT.
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7. CONTRACTOR SHALL PATCH/REPAIR FINISHES AS REQUIRED. ALL SURFACES EXPOSED BY DEMOLITION WORK SHALL INCLUDE ALL LABORS & MATERIALS TO MATCH FINISH AND MAKE/LOSH W/ EXISTING ADJACENT DEMOLITION WORK. SHALL INCLUDE ALL LABORS & MATERIALS TO MATCH FINISH AND MAKE/LOSH W/ EXISTING ADJACENT DEMOLITION WORK TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
8. CAP & REMOVE ALL ABANDONED ELECTRICAL, PLUMBING, MECHANICAL, AND FIRE PROTECTION ITEMS BACK TO SOURCE.
9. WHERE EXISTING FINISHES ARE INDICATED TO REMAIN AS BASE MATERIAL SURFACES FOR INSTALLATION OF NEW FINISH, REMOVE ALL PROJECTIONS AND JOBS AND SECURE OR REMOVE AND REPLACE ANY EXISTING LOOSE OR OTHERWISE UNSUITABLE SUBSTRATE MATERIAL.

**OPTION 'B'**

06.19.2020

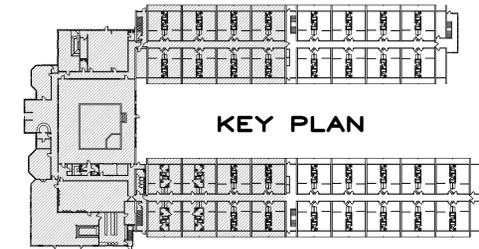


## SECOND FLOOR PLAN

SCALE: 1/10"=1'-0"

ALL DIMENSIONS ARE APPROXIMATE

REMOVE ALL EXISTING PARTITIONS FROM ALL UNITS UNLESS SPECIFICALLY SHOWN IN PLANS.

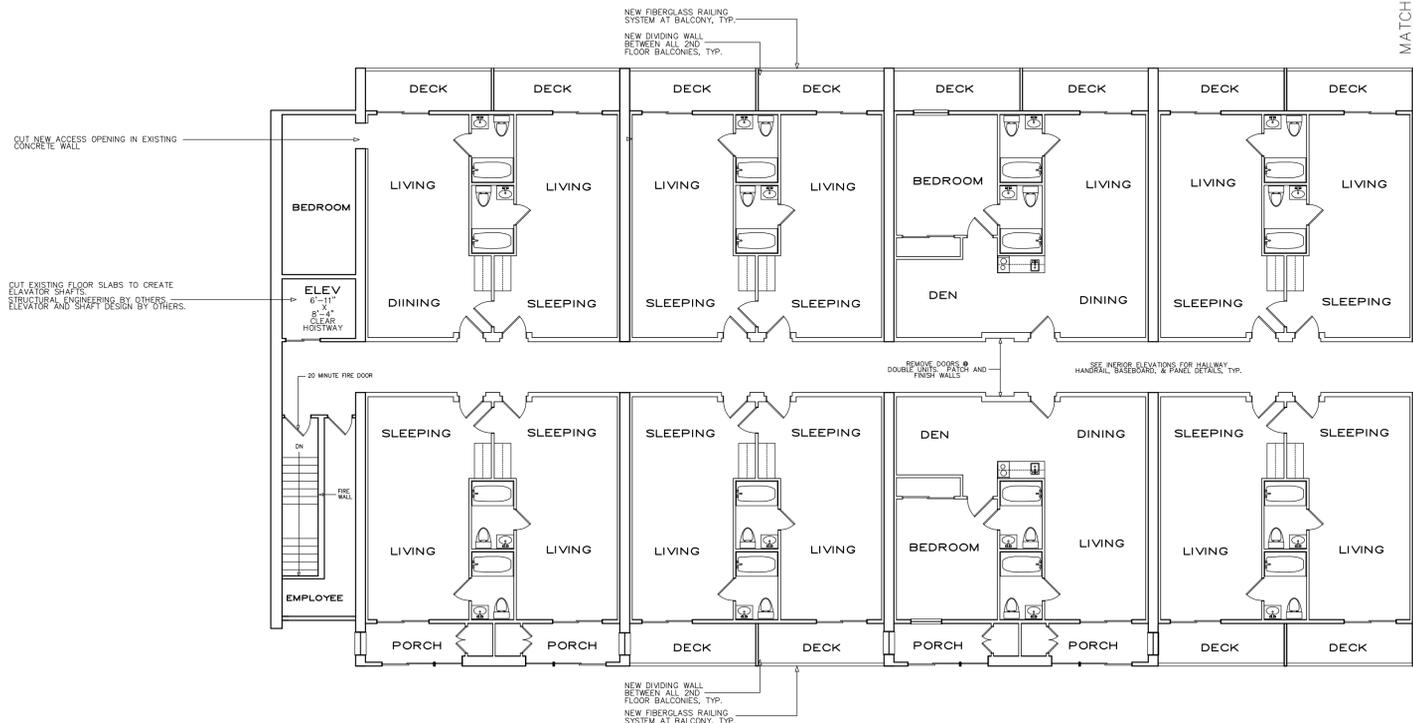


### DEMOLITION NOTES:

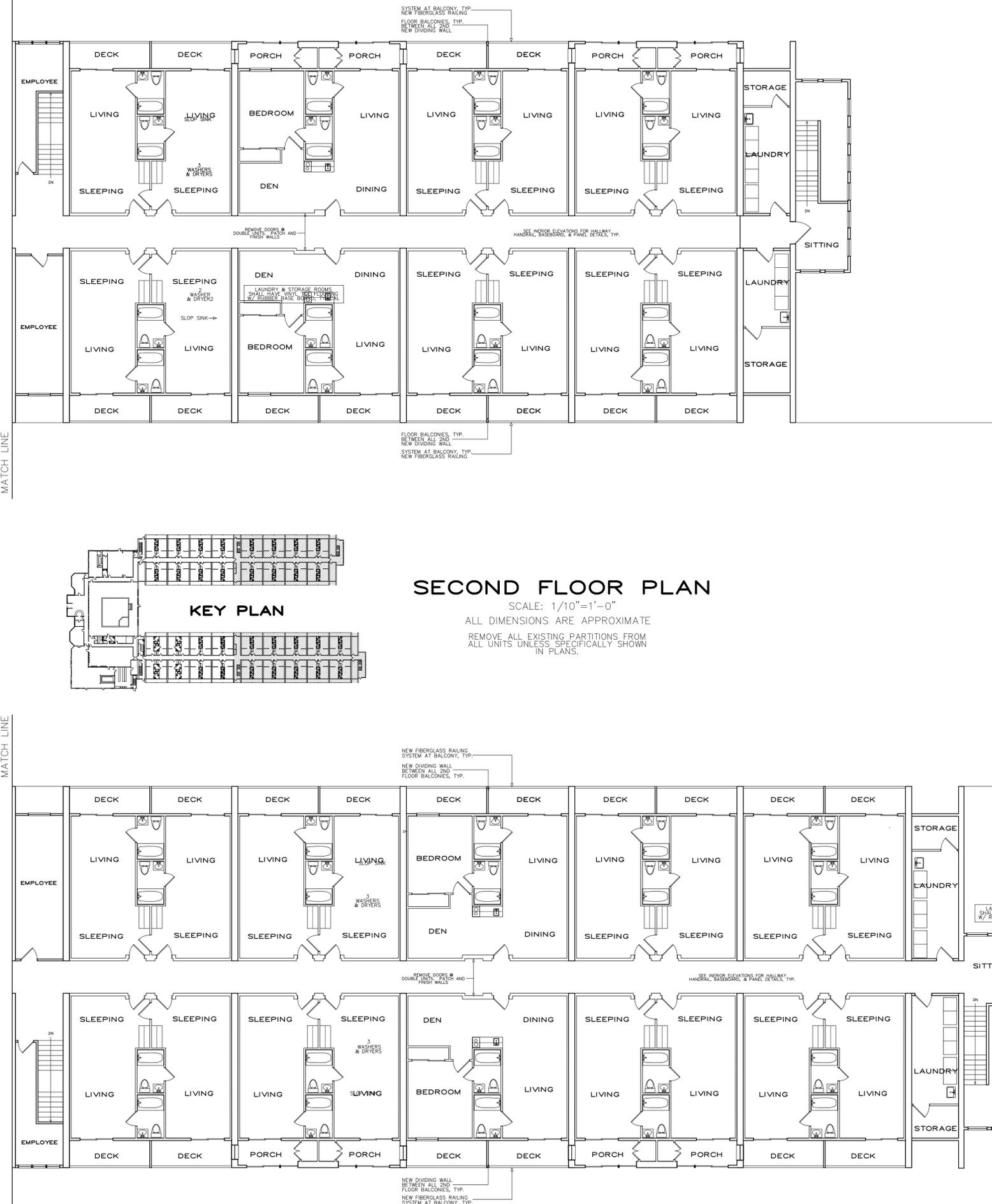
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OPTION 'B'  
06.19.2020





**SOUTH  
YARMOUTH  
WISE  
LIVING  
RETIREMENT  
COMMUNITY**

**822  
MAIN  
STREET  
834  
MAIN  
STREET  
30  
FRANK BAKER  
ROAD  
SOUTH  
YARMOUTH,  
MA**

PROJECT # 200619

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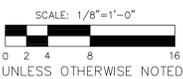
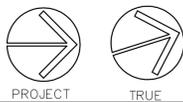
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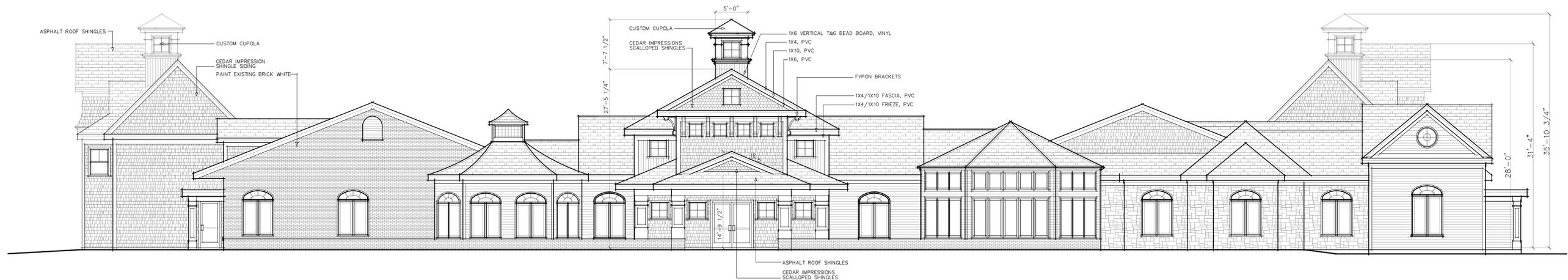
ISSUED FOR:  
DATE:



SHEET NO.  
**A.4.1**

TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC

**OPTION 'B'**

06.19.2020

**SOUTH  
YARMOUTH  
WISE  
LIVING  
RETIREMENT  
COMMUNITY**

**822  
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STREET  
834  
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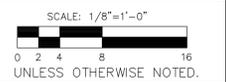
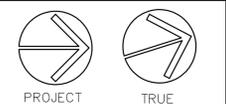
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DATE:



SHEET NO.  
**A.4.2**

TOTAL NUMBER OF SHEETS  
IN SET:

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UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS



**PARTIAL EAST ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC



**PARTIAL WEST ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC

**OPTION 'B'**

06.19.2020

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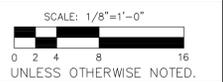
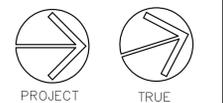
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ISSUED FOR:  
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SHEET NO.  
**A.4.3**

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IN SET:

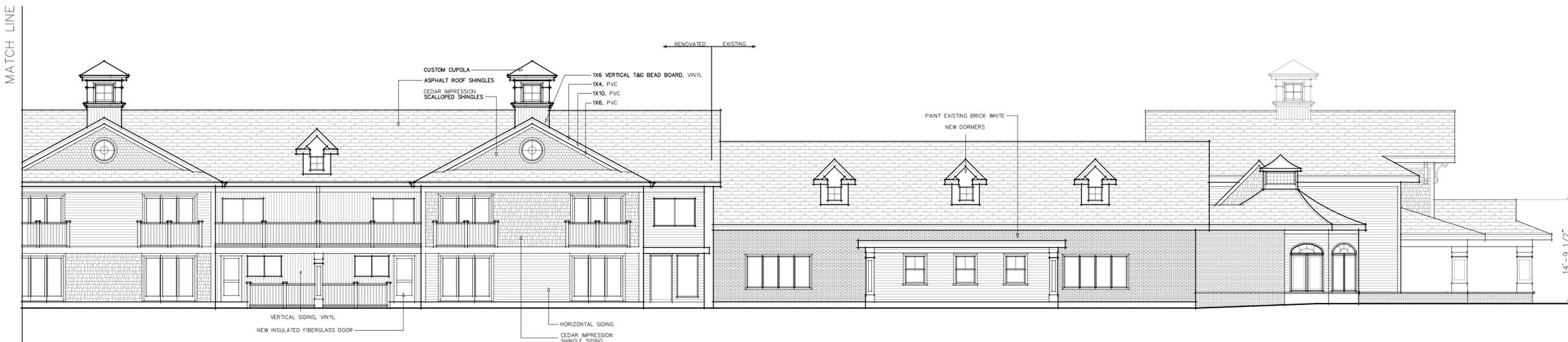
THIS SHEET INVALID  
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A COMPLETE SET OF  
WORKING DRAWINGS



**PARTIAL EAST ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC



**PARTIAL WEST ELEVATION**

SCALE: 1/8"=1'-0"

ALL DOORS AND WINDOWS SHALL BE TRIMMED W/ 1X4 PVC

**OPTION 'B'**

06.19.2020

**SOUTH  
YARMOUTH  
WISE  
LIVING  
RETIREMENT  
COMMUNITY**

**822  
MAIN  
STREET  
834  
MAIN  
STREET  
30  
FRANK  
BAKER  
ROAD  
SOUTH  
YARMOUTH,  
MA**

PROJECT # 060220

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REGISTRATION

**SPR, DRC, PB  
APPROVAL SET  
NOT FOR  
CONSTRUCTION**

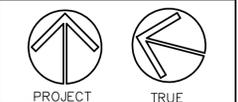
REVISIONS

DATE: REVISIONS:

6.8.2020 MODULATION


ISSUED FOR:

DATE:



SCALE: 3/16"=1'-0"

SHEET NO.

**B.1**

TOTAL NUMBER OF SHEETS  
IN SET:

THIS SHEET INVALID  
UNLESS ACCOMPANIED BY  
A COMPLETE SET OF  
WORKING DRAWINGS



**PROPOSED LEFT/WEST ELEVATION**



**PROPOSED NORTH/REAR ELEVATION**



**PROPOSED FRONT/SOUTH ELEVATION**



**PROPOSED RIGHT/EAST ELEVATION**

**OPTION 'B'**

06.19.2020