

Town of Yarmouth

Per M.G.L.: All town and school boards, committees, commissions, and authorities shall post a notice of every meeting at least 48 hours prior to such meeting, excluding Saturdays, Sundays, and legal holidays. Notice shall contain a listing of topics/agenda that the chair reasonably anticipates will be discussed at the meeting.

Notice of Meeting

Name of committee, board, etc.:	Design Review Committee
Date of Meeting:	Tuesday - April 28, 2020
Time:	4:00 PM
Place:	Virtual Meeting

The meeting will be held by remote participation pursuant to Massachusetts Governor Charles D. Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law. No in-person attendance of members of the public will be permitted, but every effort will be made to ensure that the public can adequately access the proceedings in real time, via technological means. An audio or video recording, transcript, or other comprehensive record of proceedings will be posted on the town's website as soon as possible after the meeting.

JOINING THE VIRTUAL MEETING: Members of the public can join the meeting using one of the following methods:

- To attend the meeting online, click <https://us02web.zoom.us/j/84376906535> and follow the prompts or navigate to <https://zoom.us/join> and enter meeting/webinar ID **84376906535** and follow the prompts.
- To attend the meeting by dial-in phone, call +1 301 715 8592 and enter meeting ID **84376906535**. The dial-in number can also be used to access the audio while watching the online meeting (if you don't have speakers and/or a microphone).
- Please plan to join the virtual meeting at least five minutes before the start of the meeting to troubleshoot any issues you may have joining.

APPLICANTS:

- Applicants will be called upon by the Chair or Moderator to present their request. Applicants can use the "Raise Hand" button to identify themselves (all participants will be muted, you must be recognized by the Chair to participate).
- Applicants attending by dial-in should press *9 to notify the Chair or Moderator of their presence when called upon. The meeting Moderator will un-mute applicants when they are called upon to speak.

PUBLIC PARTICIPATION: During the Public Comment period for Public Hearings, or at the discretion of the Chair for Public Meetings, the Chair will invite the audience to comment:

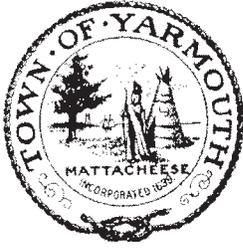
- Online audience members wishing to participate during the public comment section of a hearing can use the "Raise Hand" button to notify the Chair. All participants will be muted, you must be recognized by the Chair to participate.
- Dial-in audience members wishing to participate during the public comment section of a hearing should press *9 on their phone to notify the Chair. All participants will be muted, you must be recognized by the Chair to participate.

MEETING MATERIALS: Meeting materials will be displayed at the online meeting and are attached to this agenda (available at <http://www.yarmouth.ma.us/AgendaCenter>).

DESIGN REVIEW COMMITTEE AGENDA - April 28, 2020 (Topics to be discussed):

1. **Formal Design Review**: Great Island Plaza LLC; 590, 600 & 602 Route 28 and 12 Winslow Gray Road, West Yarmouth; Assessor Map 32, Parcels 64 & 65; Zoning Districts B2, HMOD1, ROAD and VCOD VC1. Applicant is proposing to redevelop the site under the B2 zoning district including renovations and reconstruction of the existing building at 590, 600 and 602 Route 28, demolition of the existing building at 12 Winslow Gray Road, reconfiguration of site access drives and parking areas, installation of a new pressure-dosed septic system, and improvements to drainage facilities, utilities and landscaping.
2. Adjournment.

Posted By (Name):	Kathleen D. Williams
Signature:	<i>Kathy Williams</i>



Town of Yarmouth Design Review Application

<i>For Office Use Only</i>	
<input type="checkbox"/> Conceptual Review	<input checked="" type="checkbox"/> Formal Review
<input checked="" type="checkbox"/> Des. Review Comm.	<input type="checkbox"/> Planning Board
Review Date <u>4/28/20</u>	
Review Time: <u>4:00 PM - Virtual Meeting</u>	
HMOD2 Projects:	
Abutter's List Provided <input type="checkbox"/>	
Advertised on: _____	
Abutters notified on: _____	

Date: April 3, 2020

Applicant's Name: Great Island Plaza LLC

Applicant's Address: c/o Tatra Building Company, Inc., 1268 Route 28, S. Yarmouth, MA 02664

Applicant's Phone: (833) 468-2872 Email: jk@tatraco.com

Owner or Corp. Name (if different): _____

Property (project) Address: 590, 600 & 602 Main Street and 12 Winslow Gray Road

Assessor's Map/lot Map 32, Parcels 64 & 65

Zoning District(S): B-2, HMOD-1, VCOD-1, R.O.A.D. Flood Zone: Zone X

Engineer/Surveyor: BSC Group, Inc., 349 Route 28, Unit D, West Yarmouth, MA 02673

Architect: _____

Project Description: _____

The redevelopment of the Site includes renovation of the existing strip mall building at 590, 600 & 602 Main Street, demolition of the existing building at 12 Winslow Gray Road, reconfiguration of site access drives and parking areas, installation of a new pressure-dosed septic system, improvement of site drainage facilities, utilities and landscaping.


Signature of Applicant

Jan Kvietok

April 3, 2020
Date:

YARMOUTH DESIGN REVIEW MATERIALS SPECIFICATION SHEET

Provide color chips and or material samples where necessary.

Applicant: Great Island Plaza LLC

Project
Location: 590, 600 & 602 Main Street, West Yarmouth, MA 02673

Siding Type & Material(s): White cedar shake, composite clapboard, paneling Color(s):

Roof Material & Pitch(es): Existing asphalt architectural charcoal Color(s):

Windows: Wood Other (specify) Fiberglass/aluminum Marvin Color(s):

Doors: Wood Other (specify) Fiberglass/aluminum Marvin Text Color(s):

Trim Size: Windows & Doors Ex; Corner Boards ; Existing/match
Soffits Ex; Rakes Ex; Fascia Ex Color(s):

Trim Material: Wood Other (specify) KOMA PVC Color(s):

Shutters: Wood/Vinyl/Other-Paneled/Louvered Color(s):

Gutters: Wood Other (specify) Aluminum K-style Color(s):

Garage Doors: Material; Size; Style Color(s):

Decks And Railings: Wood Other (specify) Color(s):

Fencing: Wood Other (specify) Size: Color(s):
(Show Layout And Running Footage On Site Plan)

Retaining Wall(s): Pressure Treated/Fieldstone/Other
(Show Layout And Running Footage On Site Plan)

Signs: (Show On Plan) Size; Style See mock up, size as allowed by town Color(s):

Additional Information: All new trim and siding to replicate existing style of the building as possible with modifications as per proposed mock-up

MATERIALS SPECIFICATIONS FOR GREAT ISLAND PLAZA WEST YARMOUTH, MA



AZEK® Trim

NUMBER ONE IN PERFORMANCE TRIM

AZEK Trim is the perfect replacement for wood trim and also performs beautifully as fascia, soffit, beadboard, cornerboards, window and door surrounds, column wraps, decorative mouldings, millwork, and much more.



Trim - Traditional



Trim - Frontier



Rabbeted Trim



Finish Grade Trim



Universal Skirt Board



Integrated Drip Edge



Beadboard



Cornerboards - Traditional



Cornerboards - Frontier



Rabbeted Cornerboards



Column Wrap



QuickCorner®



ReadyRake®



AZEK Sheets



AZEK To Mill (ATM)



AZEK Adhesive

PRODUCT DESCRIPTION	AZEK Item Number		
	12'	18'	20'
5/8 TRIMBOARD 5/8" THICKNESS			
5/8" x 3-1/2" Trimboard Traditional	AT06204144	AT06204216	—
5/8" x 3-1/2" Trimboard Frontier	AF06204144	AF06204216	—
5/8" x 5-1/2" Trimboard Traditional	AT06206144	AT06206216	—
5/8" x 5-1/2" Trimboard Frontier	AF06206144	AF06206216	—
5/8" x 7-1/4" Trimboard Traditional	AT06208144	AT06208216	—
5/8" x 7-1/4" Trimboard Frontier	AF06208144	AF06208216	—
5/8" x 9-1/4" Trimboard Traditional	AT06210144	AT06210216	—
5/8" x 9-1/4" Trimboard Frontier	AF06210144	AF06210216	—
5/8" x 11-1/4" Trimboard Traditional	AT06212144	AT06212216	—
5/8" x 11-1/4" Trimboard Frontier	AF06212144	AF06212216	—
5/8" x 15-1/4" Trimboard Traditional	AT06216144	AT06216216	—
5/8" x 15-1/4" Trimboard Frontier	AF06216144	AF06216216	—
4/4 TRIMBOARD 3/4" THICKNESS			
Nominal	Actual		
1 x 2	3/4" x 1-1/2" Trimboard Traditional	—	AT10002216
1 x 2	3/4" x 1-1/2" Trimboard Frontier	—	AF10002216
1 x 4	3/4" x 3-1/2" Trimboard Traditional	AT10004144	AT10004216
1 x 4	3/4" x 3-1/2" Trimboard Frontier	AF10004144	AF10004216
1 x 5	3/4" x 4-1/2" Trimboard Traditional	AT10005144	AT10005216
1 x 5	3/4" x 4-1/2" Trimboard Frontier	AF10005144	AF10005216
1 x 6	3/4" x 5-1/2" Trimboard Traditional	AT10006144	AT10006216
1 x 6	3/4" x 5-1/2" Trimboard Frontier	AF10006144	AF10006216
1 x 8	3/4" x 7-1/4" Trimboard Traditional	AT10008144	AT10008216
1 x 8	3/4" x 7-1/4" Trimboard Frontier	AF10008144	AF10008216
1 x 10	3/4" x 9-1/4" Trimboard Traditional	AT10010144	AT10010216
1 x 10	3/4" x 9-1/4" Trimboard Frontier	AF10010144	AF10010216
1 x 12	3/4" x 11-1/4" Trimboard Traditional	AT10012144	AT10012216
1 x 12	3/4" x 11-1/4" Trimboard Frontier	AF10012144	AF10012216
1 x 16	3/4" x 15-1/4" Trimboard Traditional	AT10016144	AT10016216
1 x 16	3/4" x 15-1/4" Trimboard Frontier	AF10016144	AF10016216

PRODUCT DESCRIPTION 12' 18' 20' AZEK Item Number

5/4 TRIMBOARD 1" THICKNESS

Nominal	Actual			
5/4 x 4	1" x 3-1/2" Trimboard Traditional	AT12504144	AT12504216	AT12504240
5/4 x 4	1" x 3-1/2" Trimboard Frontier	AF12504144	AF12504216	AFT12504240
5/4 x 5	1" x 4-1/2" Trimboard Traditional	AT12505144	AT12505216	AT12505240
5/4 x 5	1" x 4-1/2" Trimboard Frontier	AF12505144	AF12505216	AF12505240
5/4 x 6	1" x 5-1/2" Trimboard Traditional	AT12506144	AT12506216	AT12506240
5/4 x 6	1" x 5-1/2" Trimboard Frontier	AF12506144	AF12506216	AF12506240
5/4 x 8	1" x 7-1/4" Trimboard Traditional	AT12508144	AT12508216	AT12508240
5/4 x 8	1" x 7-1/4" Trimboard Frontier	AF12508144	AF12508216	AF12508240
5/4 x 10	1" x 9-1/4" Trimboard Traditional	AT12510144	AT12510216	AT12510240
5/4 x 10	1" x 9-1/4" Trimboard Frontier	AF12510144	AF12510216	AF12510240
5/4 x 12	1" x 11-1/4" Trimboard Traditional	AT12512144	AT12512216	AT12512240
5/4 x 12	1" x 11-1/4" Trimboard Frontier	AF12512144	AF12512216	AF12512240
5/4 x 16	1" x 15-1/4" Trimboard Traditional	AT12516144	AT12516216	AT12516240
5/4 x 16	1" x 15-1/4" Trimboard Frontier	AF12516144	AF12516216	AF12516240

6/4 TRIMBOARD 1-1/4" THICKNESS

Nominal	Actual			
6/4 x 4	1-1/4" x 3-1/2" Trimboard Frontier	—	—	AF15004240
6/4 x 6	1-1/4" x 5-1/2" Trimboard Frontier	—	—	AF15006240
6/4 x 8	1-1/4" x 7-1/4" Trimboard Frontier	—	—	AF15008240
6/4 x 10	1-1/4" x 9-1/4" Trimboard Frontier	—	—	AF15010240
6/4 x 12	1-1/4" x 11-1/4" Trimboard Frontier	—	—	AF15012240

RABBETED TRIM

Nominal	Actual			
5/4 x 4	1" x 3-1/2" Traditional	—	ATR12504216	—
5/4 x 4	1" x 3-1/2" Frontier	—	AFR12504216	—
5/4 x 6	1" x 5-1/2" Traditional	—	ATR12506216	—
5/4 x 6	1" x 5-1/2" Frontier	—	AFR12506216	—
5/4 x 8	1" x 7-1/4" Traditional	—	ATR12508216	—
5/4 x 8	1" x 7-1/4" Frontier	—	AFR12508216	—

PRODUCT DESCRIPTION	AZEK Item Number				
	8'	10'	12'	18'	20'
AZEK TO MILL (ATM)					
1-1/4" x 48" ATM Sheet Traditional	AS11448096	—	—	—	—
1-1/4" x 9-1/4" ATM Board Traditional	—	—	—	AT15010216	—
1-1/2" x 48" ATM Sheet Traditional	AS11248096	—	—	—	—
8/4 ATM BOARD 1-1/2" THICKNESS					
Nominal	Actual				
8/4 x 4	1-1/2" x 3-1/2" ATM Board Traditional	—	—	AT20004216	—
8/4 x 6	1-1/2" x 5-1/2" ATM Board Traditional	—	—	AT20006216	—
8/4 x 8	1-1/2" x 7-1/4" ATM Board Traditional	—	—	AT20008216	—
8/4 x 10	1-1/2" x 9-1/4" ATM Board Traditional	—	—	AT20010216	—
8/4 x 12	1-1/2" x 11-1/4" ATM Board Traditional	—	—	AT20012216	—
BEADBOARD					
5/8" x 3-1/2" Beadboard Traditional	—	—	—	AM0620418	—
1/2" x 5-1/2" Beadboard Traditional	—	—	—	AM0120618F	—
SHEET					
	8'	10'	12'	18'	20'
3/8" x 48" Sheet Traditional	AS03848096	AS03848120	—	—	—
1/2" x 48" Sheet Traditional	AS01248096	AS01248120	—	—	—
5/8" x 48" Sheet Traditional	AS05848096	AS05848120	—	AS05848216	—
3/4" x 48" Sheet Traditional	AS03448096	AS03448120	AS03448144	AS03448216	—
1" x 48" Sheet Traditional	AS10048096	AS10048120	AS10048144	—	AS10048240
CORNERBOARDS					
			10'	20'	
Nominal	Actual				
5/4 x 4" x 4"	1" x 3-1/2" Cornerboards Traditional	—	—	AMT04120C	AMT04240C
5/4 x 4" x 4"	1" x 3-1/2" Cornerboards Frontier	—	—	AMF04120C	AMF04240C
5/4 x 6" x 6"	1" x 5-1/2" Cornerboards Traditional	—	—	AMT06120C	AMT06240C
5/4 x 6" x 6"	1" x 5-1/2" Cornerboards Frontier	—	—	AMF06120C	AMF06240C
6/4 x 4" x 4"	1-1/4" x 3-1/2" Cornerboards Traditional	—	—	AMT12504120C	—
6/4 x 4" x 4"	1-1/4" x 3-1/2" Cornerboards Frontier	—	—	AMF12504120C	—
6/4 x 6" x 6"	1-1/4" x 5-1/2" Cornerboards Traditional	—	—	AMT12506120C	—
6/4 x 6" x 6"	1-1/4" x 5-1/2" Cornerboards Frontier	—	—	AMF12506120C	—
RABBETED CORNERBOARDS					
Nominal	Actual				
5/4 x 4" x 4"	1" x 3-1/2" Rabbeted - Traditional	—	—	AMTR04120C	AMTR04240C
5/4 x 4" x 4"	1" x 3-1/2" Rabbeted - Frontier	—	—	AMFR04120C	AMFR04240C
5/4 x 6" x 6"	1" x 5-1/2" Rabbeted - Traditional	—	—	AMTR06120C	AMTR06240C
5/4 x 6" x 6"	1" x 5-1/2" Rabbeted - Frontier	—	—	AMFR06120C	AMFR06240C
5/4 x 8" x 8"	1" x 7-1/4" Rabbeted - Traditional	—	—	AMTR08120C	AMTR08240C

PRODUCT DESCRIPTION	AZEK Item Number					
	10'	18'	20'			
QUICK CORNER® CORNERBOARD						
Nominal	Actual					
5/4 x 6" x 6"	1" x 5-1/2" x 5-1/2" with J-Channel		AMT06240JC			
UNIVERSAL SKIRT BOARD						
5/4 x 6"	1" x 5-1/2" Universal Skirt Board		AFUS07216			
5/4 x 8"	1" x 7-1/4" Universal Skirt Board		AFUS09216			
5/4 x 10"	1" x 9-1/4" Universal Skirt Board		AFUS11216			
INTEGRATED DRIP EDGE						
5/4 x 4"	1" x 3-1/2" Integrated Drip Edge		AFWB05216			
5/4 x 6"	1" x 5-1/2" Integrated Drip Edge		AFWB07216			
FINISH GRADE TRIM (Actual is approximately installed thickness and width)						
6/4 x 4"	1-1/4" x 4" Traditional		ATFG04216			
6/4 x 6"	1-1/4" x 6" Traditional		ATFG06216			
READY RAKE®						
1" x 3" on 1" x 8"	3/4" x 2-1/2" on 3/4" x 7-1/4"		AMRM08216			
ADHESIVE						
	4 OZ.	8 OZ.	16 OZ.	32 OZ.	128 OZ.	5 GAL.
Adhesive	AAD004OZ	AAD008OZ	AAD016OZ	AAD032OZ	AAD128OZ	AAD640OZ
AZEK COLUMN WRAP						
Column Wrap - Traditional	4 x 4 x 10		ATCW0404120			
Column Wrap - Traditional	6 x 6 x 10		ATCW0606120			
Column Wrap - Traditional	8 x 8 x 10		ATCW0808120			



AZEK® Column Wrap

ADD DECORATIVE DETAILS WITH MOULDING

The 3-Plus-1 column wrap profile allows for easy one person installation, saving time and installation costs. Three connected panels and a fourth "locking" panel fit easily around a structural support with press fit seams and nicely finished corners. AZEK Column Wrap is available in the semi-matte traditional white finish.



Column Wrap & Moulding

AZEK Trim and AZEK Mouldings should be installed using the same good building principles used to install wood trim and mouldings and in accordance with the local building codes and the installation guidelines. AZEK Building Products accepts no liability or responsibility for the improper installation of this product.

AZEK Trim and AZEK Moulding may not be suitable for every application and it is the sole responsibility of the installer to be sure that AZEK Trim and Mouldings are fit for the intended use. Since all installations are unique, it is also the installer's responsibility to determine specific requirements in regards to each trim and moulding application.

AZEK Building Products recommends that all applications be reviewed by a licensed architect, engineer or local building official before installation. If you have any questions or need assistance, please call AZEK Customer Service at 877-ASK-AZEK (877-275-2935) or visit our website at AZEK.com.





AZEK® Moulding

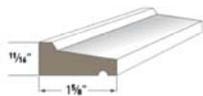
CREATE STUNNING DETAILS THAT LAST

Backed by AZEK's promise of high-quality and lasting performance, AZEK Moulding will retain a like-new appearance despite the tests of time and weather. Create decorative details using one of our moulding profiles or choose a combination of profiles to create a custom, elegant look.

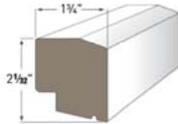


Detail and Sill/Drip Profiles

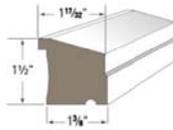
The AZEK® drip cap can be used as a water table or brick ledge for separation and watershed against two different materials. AZEK's sill profiles shed water and offer architectural detail.



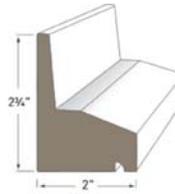
Drip Cap AZM-197
Length: 16'



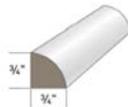
Historic Sill AZM-6930
Length: 16'



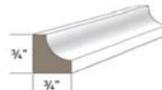
Sub Sill Nose AZM-6933
Length: 16'



Water Table AZM-6935
Length: 18'



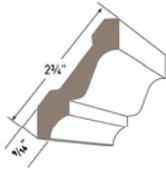
Quarter Round AZM-105
Length: 16'



Scotia AZM-93
Length: 16'

Crown Profiles

Crown moulding profiles are typically decorative mouldings designed for use along the intersection of a wall or ceiling. May be combined with other mouldings to create a built-up profile.



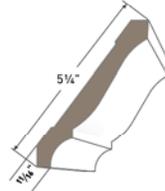
3" Crown AZM-52
Length: 16'



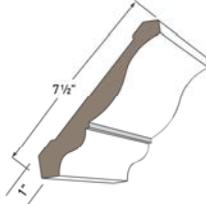
4" Crown AZM-49
Length: 16'



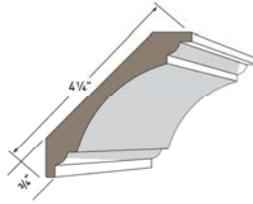
5" Crown AZM-47
Length: 16'



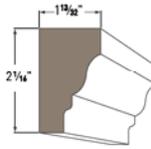
6" Crown AZM-45
Length: 16'



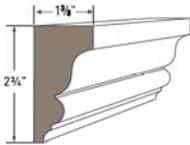
8" Crown AZM-43
Length: 16'



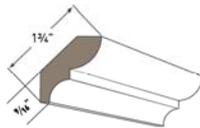
Cove Moulding AZM-80
Length: 16'



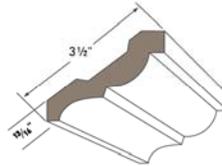
Rams Crown AZM-6934
Length: 16'



Imperial Rake Crown AZM-6937
Length: 16'



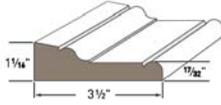
Bed Moulding AZM-75
Length: 16'



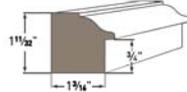
3 1/2" Bed Moulding AZM-28
Length: 16'

Casing Profiles

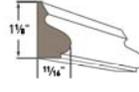
Use AZEK® casing profiles as decorative moulding against a wall, door, or window to create surrounds.



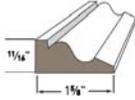
Adams Casing AZM-97
Length: 16'



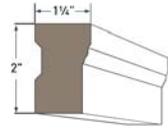
Back Band AZM-6931
Length: 16'



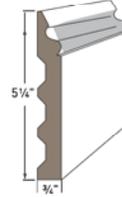
Base Cap AZM-164
Length: 16'



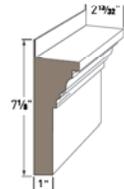
Band Moulding AZM-217
Length: 16'



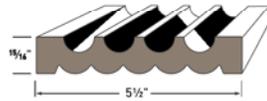
Brick Mould AZM-180
Lengths: 17' and 18'*



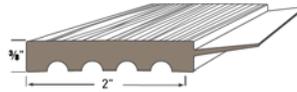
Colonial Base Cap AZM-163
Length: 16'



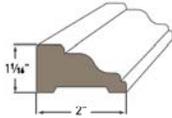
Crosshead Pediment
AZM-6216
Length: 18'



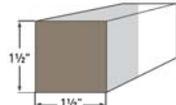
Fluted/Reeded AZM-606
Length: 16'



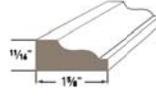
Garage Door Thermostop
AZM-6936
Lengths: 7', 9', and 16'



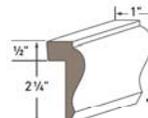
Rake Moulding
AZM-287
Length: 16'



Square Profile
AZM-236
Length: 12'



Shingle Mould
AZM-210
Length: 16'



Wainscot Cap
AZM-284
Length: 16'

PRODUCT DESCRIPTION

AZEK Item

16' 18'

MOULDING					
9/16" x 2-3/4" 3" Crown AZM-52				AMCM03192	—
9/16" x 3-5/8" 4" Crown AZM-49				AMCM04192	—
11/16" x 4-5/8" 5" Crown AZM-47				AMCM05192	—
11/16" x 5-1/4" 6" Crown AZM-45				AMCM06192	—
1" x 7-1/2" 8" Crown AZM-43				AMCM08192	—
3/4" x 4-1/4" Cove Moulding AZM-80				AMCC05192	—
1-13/32" x 2-1/16" Rams Crown AZM-6934				AMRC02192	—
1-3/8" x 2-3/4" Imperial/Rake Crown AZM-6937				AMIR03192	—
9/16" x 1-3/4" Bed Moulding AZM-75				AMBD02192	—
13/16" x 3-1/2" Bed Moulding AZM-28				AMBD04192	—
3/4" x 3/4" Scotia AZM-93				AMSC01192	—
3/4" x 3/4" Quarter Round AZM-105				AMQR01192	—
11/16" x 1-5/8" Shingle Mould AZM-210				AMSM02192	—
11/16" x 1-5/8" Band Moulding AZM-217				AMBN02192	—
1" x 2-1/4" Wainscot Cap AZM-284				AMWC03192	—
11/16" x 1-1/8" Base Cap AZM-164				AMBC02192	—
1-1/4" x 2" Brick Mould AZM-180				AMBM02204 - 17"	
1-1/4" x 2" Brick Mould AZM-180				—	AMBM02216
1-11/32" x 1-3/16" Back Band AZM-6931				AMBB02192	—
1-1/16" x 2" Rake Moulding AZM-287				AMRM02192	—
1-1/16" x 3-1/2" Adams Casing AZM-97				AMAC04192	—
3/4" x 5-1/4" Colonial Base Cap AZM-163				AMCB06192	—
15/16" x 5-1/4" Fluted/Reeded Casing AZM-606				AMFR06192	—
Crosshead Pediment AZM-6216				—	AMCP04216
1-1/2" x 1-1/2" Square AZM-236				AMIC02144 - 12"	
11/16" x 1-5/8" Drip Cap AZM-197				AMDC02192	—
2-3/4" x 2" Water Table AZM-6935				—	AMWT03216
1-3/4" x 2-1/32" Historic Sill AZM-6930				AMHS02192	—
1-17/32" x 1-1/2" x 1-3/8" Sub Sill Nose AZM-6933				AMSS02192	—
	7'	9'	12'	16'	18'
7/8" x 2" Garage Door Thermostop AZM-6936	AMGT03084	AMGT03108	—	AMGT03192	—



Bevel Siding

Bevel Siding

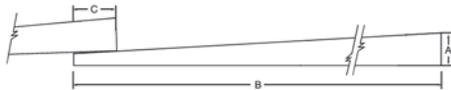
The Bevel profile is the newest addition to Boral TruExterior® Siding. Recreating the look and character of traditional clapboard or bevel lap siding, the Bevel profile offers the true taper and shadow line effect historically seen with cedar and redwood siding. At the same time, the siding reduces the moisture- and thermal movement-related issues commonly seen with other natural and manmade materials.

Available in 6-inch, 8-inch and 10-inch widths, Boral TruExterior® Bevel Siding is ideal for homeowners who desire the look, feel and character of authentic wood siding with superior, long-lasting performance.

Boral TruExterior® Siding

Made with Boral's proprietary blend of polymers and fly ash, Boral TruExterior® Siding offers a high level of dimensional stability for reduced expansion and contraction, and durability for resistance to warping, cracking, and splitting. As a result, the material requires no sealing of ends or cuts in the field, it can be used in ground-contact applications, and it can be painted any color, including dark hues.

Nominal Size	Actual Thickness (A)	Actual Width (B)	Minimum Overlap (C)
½ x 6	0.50"	5.50"	1.0"
½ x 8	0.50"	7.25"	1.0"
¾ x 10	0.75"	9.25"	1.0"



*See Boral TruExterior® Siding Warranty and Data Sheet for proprietary test results, located at www.BoralTruExterior.com

Boral TruExterior® Siding Facts

- Workability exceeds that of wood siding
- Installs with standard woodworking tools and methods
- No need to prime ends or field cuts
- Easily accepts paint of any color
- Accepts a wide variety of fasteners
- Resists rot and termite attacks†
- Maintains high level of dimensional stability†
- No cracking or splitting from moisture
- 16' lengths
- Made in the USA
- 20-year limited warranty†

**8" and 10" Sizes
Now Available!**





Installation Best Practices

- The product should be dry and clean when installed
- The use of a drainable house wrap is recommend
- For longer tool life, use carbide tipped blades and drill bits
- Use fasteners designed for exterior trim and siding
- Minimum lap is 1"
- Each board has a factory-applied primer
- The product must be painted
- No gluing or gapping is necessary to control or limit movement
- No need to prime or paint ends or field-cut edges



Sustainability

Boral TruExterior® Siding's sustainable properties are a result of the use of a proprietary polymer blend and highly-refined coal combustion products (ash), which are endorsed by the U.S. Green Building Council (USGBC) in the production of construction materials.

- Minimum 70% recycled content, as verified by SCS Global Services
- Cradle to Cradle Certified™
- Produced in a state-of-the-art LEED Silver certified commercial facility



Installation Specifications

At www.CORONADO.com product specifications can be downloaded in CSI format.

Choices Specific to Weathered Brick

- Standard Colors:** Antique Red, Carmel Mountain, San Vincenzo or Any Custom Color
Grout Joint Width: ½" Grout Joint
Grouting Options: Deep Raked, Full Brushed or Full Tooled
Grout Joint Color: Natural Grey, Natural Off-White or Complementary Color
Accessories: Corners, Complementary Tiles, Wall Caps and more. (See Accessories section of binder)

Special Installation Notes

- Pattern:** Do not install bricks vertically. Blend the bricks on the wall from several different boxes to ensure proper color and size variation. **See catalog photos for recommended installation pattern.**
- Chalk Lines:** Should be used by installer to ensure a straight and level pattern.
- Sealing:** Not required. However, if installed on an exterior exposed to excessive water from runoff or improper drainage, we suggest the product be sealed in that particular area to protect it from staining or spalling during freeze-thaw cycles.
- Freeze-Thaw:** When installing stone in a freeze-thaw environment, extra care should be taken to ensure a full coverage of mortar on the back of each stone, which will prevent water pooling behind the stone after it's been installed.
- Installation Info:** Download Coronado's latest installation instructions at www.coronado.com for information on mortar and installation recommendations.

Profile Properties

- Size:** Brick size is 2⅜" (±⅛") in height and 9⅞" (±⅛") in length (nominal).
Thickness: ½" (±⅛")
Weight: 4 to 6 lbs. per square foot.
Packaging: Available in a brick box (15 sq ft Flats & 9 lft Corners). **When purchasing Weathered Brick, coverage is based on installation with a ½" joint.**

½" Smooth Brushed Grout Joint



WEATHERED BRICK

COLOR: ANTIQUE RED

½" Smooth Brushed Grout Joint



WEATHERED BRICK

COLOR: CARMEL MOUNTAIN

NATURAL ACCENTS

Created by Nature, Inspired by Colors!



WEATHERING STAIN

Specialty coating that provides a natural driftwood-gray appearance within only a few months.

If you prefer the beauty of aged wood, SBC Weathering Stain Shingles are the natural choice to add value to your home!



Weathering Stain Properties

- Accelerates weathering process to quickly provide the look of naturally-aged shingles.
- Features linseed oil for waterproofing and exceptional long-term durability.
- Requires little maintenance.
- Helps prevent unsightly mildew growth on the stain film.

Surfaces to which Weathering Stain has been applied require both sunlight and water to sustain weathering process. As such, areas most exposed to sunlight and rain will age more rapidly, while protected areas will weather more slowly.



Natural
COLOR MAY BE NOT EXACTLY AS SHOWN



Weathering Stain

Warranty

30 Years Against Decay

Weathering Stain contains pigments to provide initial appeal, but is not considered a finish. It is designed to accelerate the weathering process and results will vary depending on climate. Therefore, since shingles will weather and change appearance, no coating warranties apply.

Environmental Statement

Since coating is formulated without any lead containing ingredient and since cedar shingles are from a renewable resource, SBC Weathering Stain Shingles are an environmentally responsible choice, which contributes to reducing atmospheric gas.



REJUVENATION



10" Seabeck Cage Rectangle Bulkhead Sconce

Oil-Rubbed Bronze

Item #A2272

<http://www.rejuvenation.com/s/194hy>

Specification	Detail
Item #	A2272
Width	10-1/4"
Height	8-1/2"
Depth	5-1/2"
Weight	15.3
Sockets	1
Maximum Wattage per Socket	75W

REJUVENATION



Carson L-Arm LED Wall Fixture

Item #A6611

<http://www.rejuvenation.com/s/1982h>

Specification	Detail
Item #	A6611
Finish	Carbon
Projection	18"
Shade	B0132
Shade SKU	B0132
Arm Support	Single Rod Arm Support
Location	Wet
UL Listed	UL Listed
Canopy width	5"
Overall fixture width	11-1/2"
Length	20-7/8"
Overall fixture depth	23-3/4"
LED lumens	2700 lm
LED CRI	80
LED color temperature	3000"
LED	20W

REJUVENATION



Carson 16" Double Shepherd's Hook LED Post Light

Matte Black

Item #A9750

<http://www.rejuvenation.com/s/18eb3>

Specification	Detail
Item #	A9750
Overall Width	16"
Overall Height	28"
Projection	46"
Wattage	20W
Lumens	2700
Color Temperature	3000K
CRI	80
UL Location Rating	Wet
Overall Height with 8' Post	10' 1 -5/8"
Overall Height with 10' Post	12' 1-5/8"
Overall Height with 12' Post	14' 1-5/8"
Shade Only Diameter	16"
Arm Only Projection	30"
Arm Pipe Diameter	1-1/16"
Wire Length	6" lead wire

REJUVENATION



Carson 12" Wall Sconce

Matte Black

Item #A0155

<http://www.rejuvenation.com/s/18ekx>

Specification	Detail
Item #	A0155
Width	12"
Height	13"
Projection	16"
Canopy Diameter	5"
Number of Sockets	1
Wattage	100W

**WINDOW & DOOR SPECIFICATIONS FOR GREAT ISLAND PLAZA
WEST YARMOUTH, MA**

MARVIN > SIGNATURE COLLECTION > MARVIN SIGNATURE™ ULTIMATE > ULTIMATE COMMERCIAL DOOR

ULTIMATE COMMERCIAL DOOR

Previously known as Marvin Commercial Door



The Marvin Signature™ Ultimate Commercial Door combines sophisticated design with the rugged durability to stand up to years of commercial use. Available in a wide variety of design and customization options, they're manufactured with different construction and assembly processes than our residential doors.



Features of the Ultimate Commercial Door



- Available in wood or clad-wood styles to match design needs
- Optional commercial hardware package includes: closer, mortise lock or rim device, kick plate, and removable mullions
- Hardware routs and preps can be ordered
- Optional Raised or Flat Panels offer an upscale look
- Intermediate Rail available for a two lite panel
- Three ADA-compliant sill options, available in three finishes
- Clad style is CE certified
- Available in 1 3/4" or 2 1/4" panels

INTERIOR

EXTERIOR

MARVIN > SIGNATURE COLLECTION > MARVIN SIGNATURE™ ULTIMATE > ULTIMATE COMMERCIAL DOOR

ULTIMATE COMMERCIAL DOOR

Previously known as Marvin Commercial Door



The Marvin Signature™ Ultimate Commercial Door combines sophisticated design with the rugged durability to stand up to years of commercial use. Available in a wide variety of design and customization options, they're manufactured with different construction and assembly processes than our residential doors.



Features of the Ultimate Commercial Door



- Available in wood or clad-wood styles to match design needs
- Optional commercial hardware package includes: closer, mortise lock or rim device, kick plate, and removable mullions
- Hardware routs and preps can be ordered
- Optional Raised or Flat Panels offer an upscale look
- Intermediate Rail available for a two lite panel
- Three ADA-compliant sill options, available in three finishes
- Clad style is CE certified
- Available in 1 3/4" or 2 1/4" panels

INTERIOR

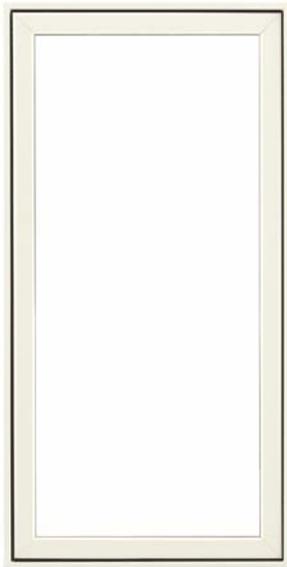
EXTERIOR

MARVIN > MARVIN ELEVATE™ > ELEVATE PICTURE

ELEVATE PICTURE



The Marvin Elevate™ Picture window is a stationary option available in two types to meet various design needs. The in-sash version of the Elevate Picture window is designed with a sash to match the profiles of other operable windows in the Elevate collection, like casement, awning or double hung. The direct-glaze version has no sash, meaning the glass meets the frame directly without a sash for a simple, clean profile in expansive sizes. Both versions offer the ideal combination of style and strength, with a durable fiberglass exterior and warm wood, stainable interior.



Features of the Elevate Picture Window

- Elevate Casement Picture available in heights up to 6 feet or widths up to 6 feet
- Elevate Double Hung Picture available in heights up to 7 feet or widths up to 5 feet
- An ideal complement to other operable windows in the Elevate collection
- Available with IZ3 coastal/hurricane certification
- CE certified

INTERIOR

EXTERIOR



MARVIN > MARVIN ELEVATE™ > ELEVATE DOUBLE HUNG

ELEVATE DOUBLE HUNG

Previously known as Integrity Wood-Ultrex Double Hung



Traditional style meets superior strength in this updated take on a classic window. The Marvin Elevate™ Double Hung window's balanced design provides the performance and aesthetic your home deserves, with durable fiberglass exteriors, warm wood interiors and coordinating picture or transom window styles available. Tilt the sash in or remove for easy cleaning.



Features of the Elevate Double Hung Window

- Available in heights up to 7 feet or widths up to 4.5 feet
- Low-profile locking mechanism for smooth operation
- Insert replacement option is available to fit seamlessly into existing window openings
- Sashes tilt in for easy cleaning of both sides of glass from indoors
- Available with IZ3 coastal/hurricane certification
- CE certified

INTERIOR

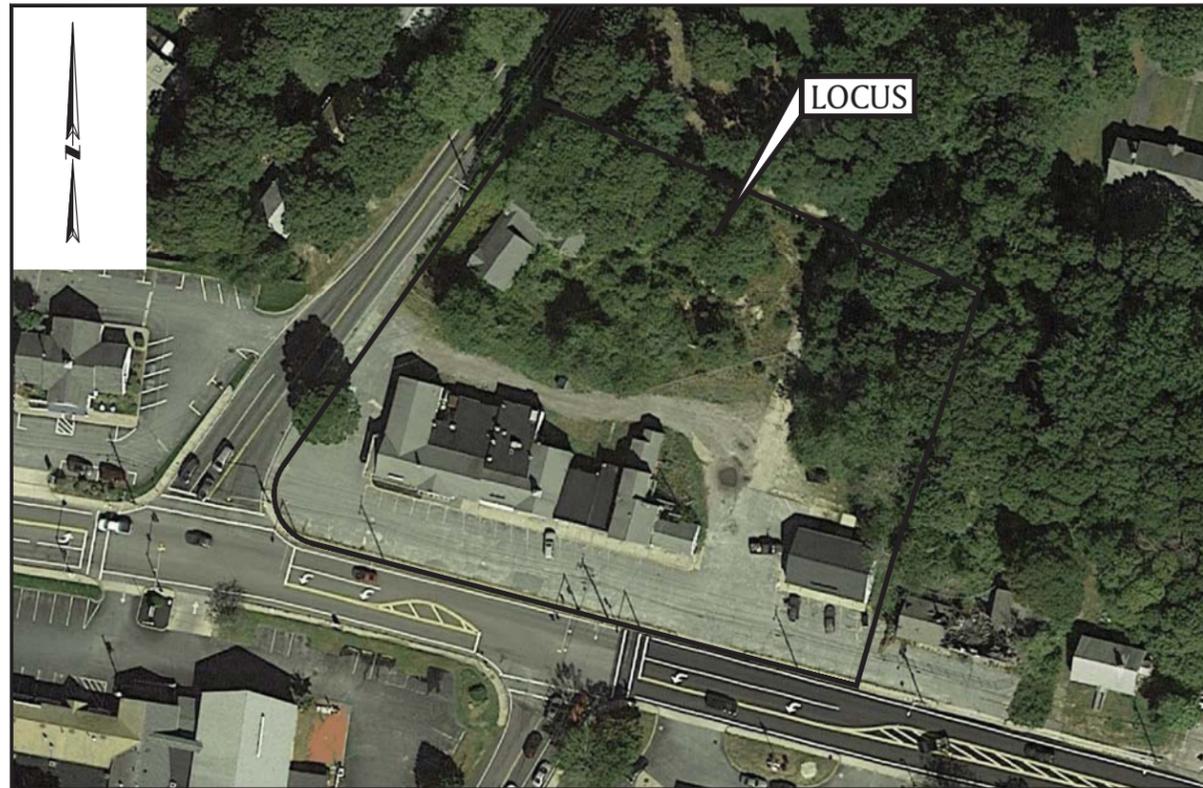
EXTERIOR



GREAT ISLAND PLAZA REDEVELOPMENT

590, 600 & 602 ROUTE 28, 12 WINSLOW GRAY ROAD
WEST YARMOUTH, MASSACHUSETTS

MARCH 26, 2020



INDEX OF DRAWINGS

- 1 TITLE SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 DEMOLITION PLAN
- 4 LAYOUT & MATERIALS PLAN
- 5 GRADING & DRAINAGE PLAN
- 6 UTILITY PLAN
- 7 SEPTIC DESIGN PLAN
- 8 EROSION CONTROL PLAN
- 9 LANDSCAPE & LIGHTING PLAN
- 10-11 DETAILS
- 12-13 SEPTIC SYSTEM DETAILS

LOCUS MAP



PREPARED FOR:

GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

PREPARED BY:

 **BSC GROUP**
349 Main Street - Route 28
W. Yarmouth, Massachusetts
02673
508 778 8919



3/26/20

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

PARKING TABLE

PLAZA USE	UNIT #	GROSS FLOOR AREA (SF)	# SEATS	301.5 TABLE OF PARKING DEMAND	REQUIRED PARKING
CONVENIENCE STORE	1	1,481 S.F.		RETAIL (1 SPACE/200 S.F. OF GFA)*	8
RESTAURANT	2	1,236 S.F.	25	RESTAURANT (1 SPACE/3 OCCUPANTS)	9
RETAIL	3	898 S.F.		RETAIL (1 SPACE/200 S.F. OF GFA)*	5
1-BEDROOM APARTMENT (2ND FLOOR)	ABOVE 2 & 3	769 S.F.		RESIDENTIAL, 1 & 2 FAMILY (2 SPACES/UNIT)	2
RESTAURANT	4	1,355 S.F.	40	RESTAURANT (1 SPACE/3 OCCUPANTS)	14
HARDWARE STORE	5	1,309 S.F.		RETAIL (1 SPACE/200 S.F. OF GFA)	7
STORAGE (2ND FLOOR)	5	355 S.F.		RETAIL STORAGE (1 SPACE/200 S.F. OF GFA)	2
HAIR SALON	6	1,123 S.F.		RETAIL (1 SPACE/200 S.F. OF GFA)	6
STORAGE (2ND FLOOR)	6	488 S.F.		RETAIL STORAGE (1 SPACE/200 S.F. OF GFA)	3
MIXED-USE BUILDING - RETAIL (1ST FLOOR)	7	1,612 S.F.		RETAIL (1 SPACE/200 S.F. OF GFA)*	9
STORAGE (2ND FLOOR)	7	1,612 S.F.		RETAIL STORAGE (1 SPACE/200 S.F. OF GFA)*	9
POST OFFICE		1,548 S.F.		RETAIL (1 SPACE/200 S.F. OF GFA)*	8
TOTAL REQUIRED PARKING					82 SPACES
TOTAL PROPOSED PARKING					55 SPACES
REQUIRED ACCESSIBLE PARKING					2 STANDARD, 1 VAN
PROVIDED ACCESSIBLE PARKING					5 STANDARD, 2 VAN

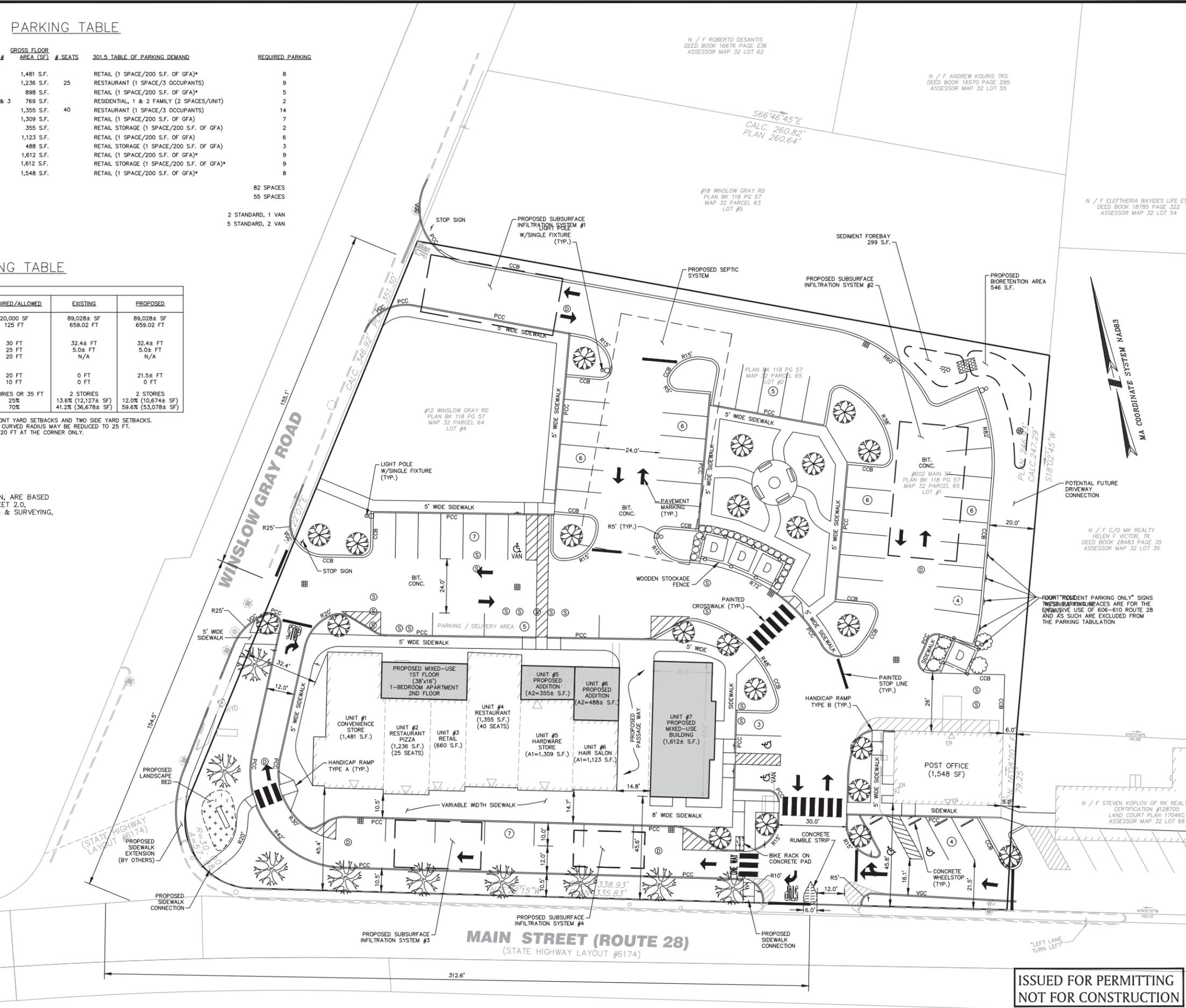
ZONING TABLE

ZONING DISTRICT: B2	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA	20,000 SF	89,028± SF	89,028± SF
FRONTAGE	125 FT	659.02 FT	659.02 FT
BUILDING SETBACKS*			
FRONT SETBACK	30 FT	32.4± FT	32.4± FT
SIDE SETBACK	25 FT	5.0± FT	5.0± FT
REAR SETBACK	20 FT	N/A	N/A
VEGETATED BUFFER REQUIREMENTS			
FRONT YARD SETBACK	20 FT	0 FT	21.5± FT
SIDE YARD SETBACK	10 FT	0 FT	0 FT
MAX BUILDING HEIGHT (STORIES)	3 STORIES OR 35 FT	2 STORIES	2 STORIES
MAX BUILDING COVERAGE (STRUCTURES)	25%	13.6% (12,127± SF)	12.0% (10,674± SF)
MAX IMPERVIOUS COVERAGE	70%	41.2% (36,678± SF)	59.6% (53,078± SF)

* CORNER LOTS ARE CONSIDERED TO HAVE TWO FRONT YARD SETBACKS AND TWO SIDE YARD SETBACKS. FRONT YARD SETBACK FOR CORNER LOTS WITH A CURVED RADIUS MAY BE REDUCED TO 25 FT. THE FRONT YARD SETBACK MAY BE REDUCED TO 20 FT AT THE CORNER ONLY.

GENERAL NOTE:

- EXISTING SITE FEATURES, SHOWN HEREON, ARE BASED ON THE EXISTING SITE CONDITIONS PLAN, SHEET 2.0, PREPARED BY BAXTER NYE ENGINEERING & SURVEYING, DATED AUGUST 21, 2019.



3/26/20
 BRIAN G. YERGATIAN
 PROFESSIONAL ENGINEER

GREAT ISLAND PLAZA REDEVELOPMENT

590, 600 & 602 ROUTE 28
 12 WINSLOW GRAY ROAD

IN
 WEST YARMOUTH MASSACHUSETTS
 (BARNSTABLE COUNTY)

LAYOUT & MATERIALS PLAN

MARCH 26, 2020

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
 GREAT ISLAND PLAZA LLC
 C/O TATRA BUILDING COMPANY
 1268 ROUTE 28
 SOUTH YARMOUTH, MA 02664

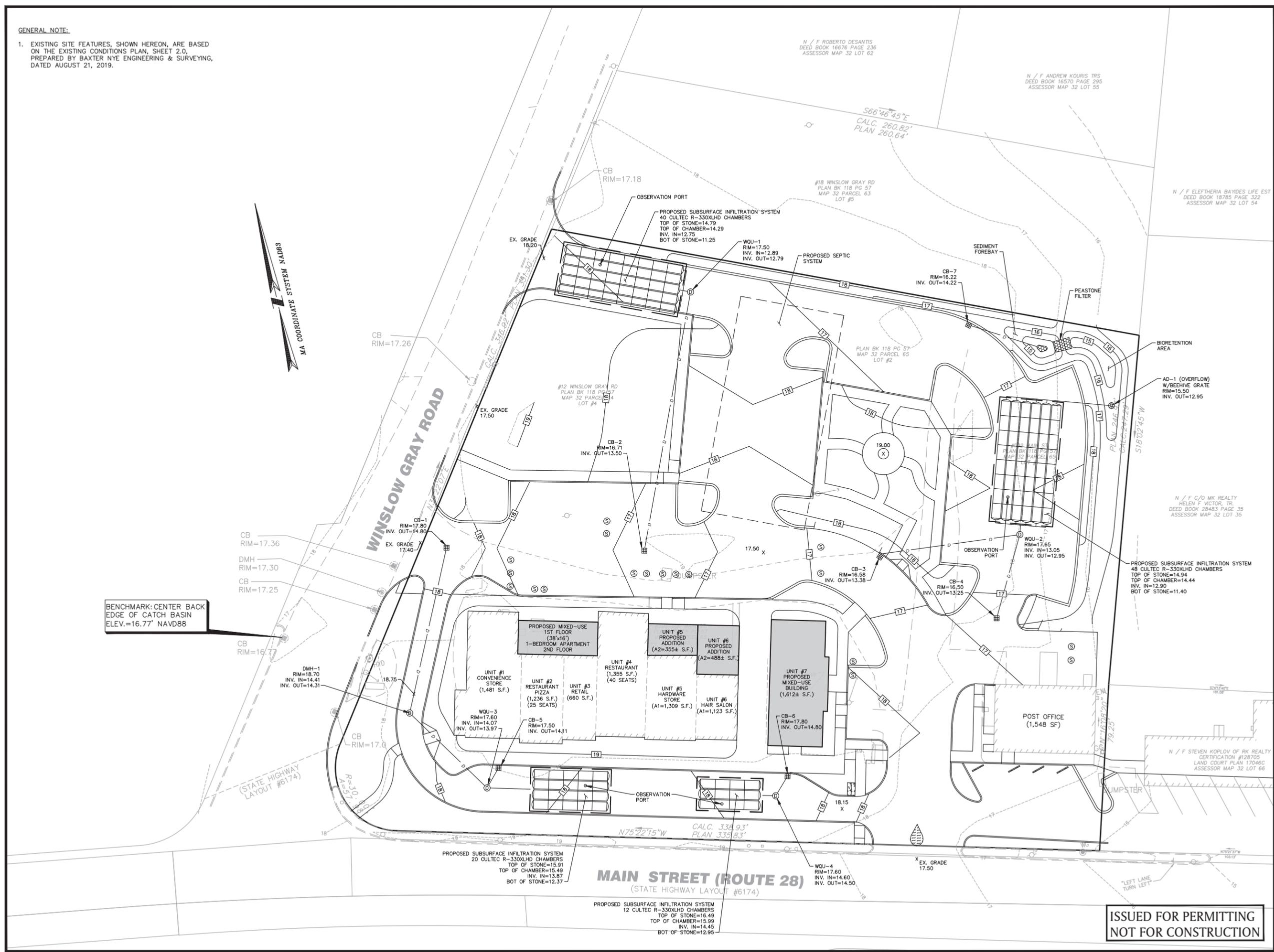
BSC GROUP
 349 Main Street - Route 28
 West Yarmouth, Massachusetts
 02673
 508 778 8919

© 2020 The BSC Group, Inc.
 SCALE: 1" = 20'
 0 10 20 40 FEET
 FILE: Projects-YAR\5035001\Civil\Drawings\5035001-SP.dwg
 DWG.:
 JOB: NO: 5-0350.01 SHEET 4 OF 13

**ISSUED FOR PERMITTING
 NOT FOR CONSTRUCTION**

GENERAL NOTE:

- EXISTING SITE FEATURES, SHOWN HEREON, ARE BASED ON THE EXISTING CONDITIONS PLAN, SHEET 2.0, PREPARED BY BAXTER NYE ENGINEERING & SURVEYING, DATED AUGUST 21, 2019.



3/26/20
 BRIAN G. YERGATIAN
 PROFESSIONAL ENGINEER DATE

GREAT ISLAND PLAZA REDEVELOPMENT

590, 600 & 602 ROUTE 28
 12 WINSLOW GRAY ROAD

IN
 WEST YARMOUTH MASSACHUSETTS
 (BARNSTABLE COUNTY)

GRADING & DRAINAGE PLAN

MARCH 26, 2020

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
 GREAT ISLAND PLAZA LLC
 C/O TATRA BUILDING COMPANY
 1268 ROUTE 28
 SOUTH YARMOUTH, MA 02664

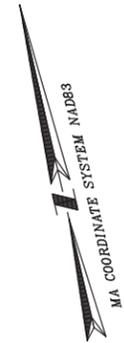
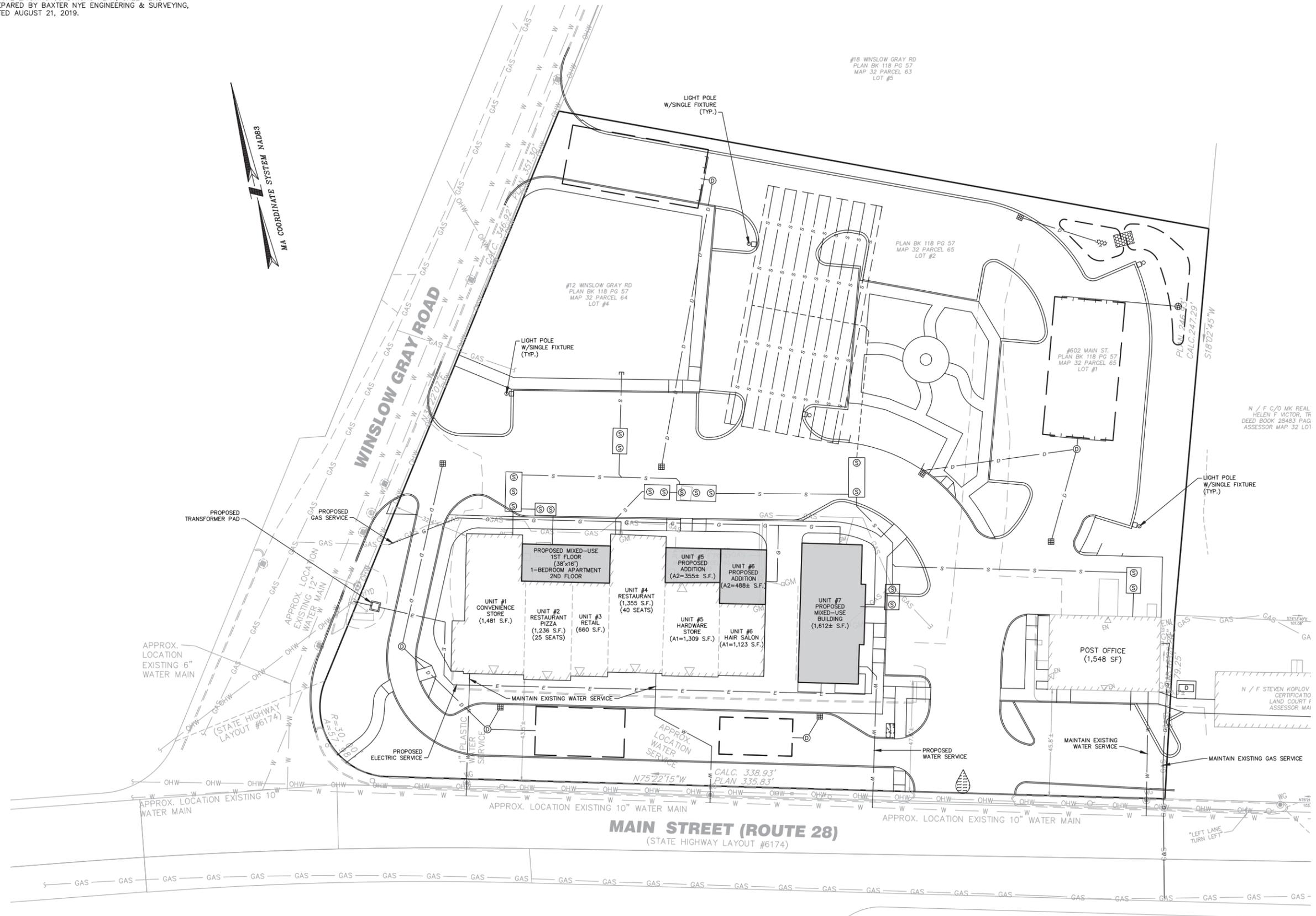
BSC GROUP
 349 Main Street - Route 28
 West Yarmouth, Massachusetts
 02673
 508 778 8919

© 2020 The BSC Group, Inc.
 SCALE: 1" = 20'
 0 10 20 40 FEET
 FILE: Projects-YAR\5035001\Civil\Drawings\5035001-sp.dwg
 DWG.:
 JOB. NO: 5-0350.01 SHEET 5 OF 13

**ISSUED FOR PERMITTING
 NOT FOR CONSTRUCTION**

GENERAL NOTE:

- EXISTING SITE FEATURES, SHOWN HEREON, ARE BASED ON THE EXISTING CONDITIONS PLAN, SHEET 2.0, PREPARED BY BAXTER NYE ENGINEERING & SURVEYING, DATED AUGUST 21, 2019.



BRIAN G. YERGATIAN
PROFESSIONAL ENGINEER

3/26/20
DATE

**GREAT ISLAND PLAZA
REDEVELOPMENT**

590, 600 & 602 ROUTE 28
12 WINSLOW GRAY ROAD

IN
WEST YARMOUTH
MASSACHUSETTS
(BARNSTABLE COUNTY)

UTILITY PLAN

MARCH 26, 2020

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

BSC GROUP

349 Main Street - Route 28
West Yarmouth, Massachusetts
02673

508 778 8919

© 2020 The BSC Group, Inc.
SCALE: 1" = 20'
0 10 20 40 FEET

FILE: Projects-YAR\5035001\Civil_Drawings\5035001-SP.dwg
DWG.:
JOB. NO: 5-0350.01 SHEET 6 OF 13

**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**

PROPOSED SEPTIC SYSTEM DESIGN FLOW

PLAZA USE	UNIT #	TITLE V DESIGN FLOW_310 CMR 15.203	AREA (SF)	# OF UNITS	DESIGN FLOW (GPD)
CONVENIENCE STORE	1	SUPERMARKET, 97 GPD/1,000 S.F.	1,649 S.F.		160
RESTAURANT	2	RESTAURANT (35 GPD/SEAT)		25 SEATS	875
RETAIL	3	RETAIL (50 GPD/1,000 S.F.)	898 S.F.		45
1-BEDROOM APARTMENT (2ND FLOOR)	ABOVE 2 & 3	RESIDENTIAL (110 GPD/BEDROOM)		1 BEDROOM	110
RESTAURANT	4	RESTAURANT (35 GPD/SEAT)		40 SEATS	1,400
HARDWARE STORE	5	RETAIL (50 GPD/1,000 S.F.)	1,664 S.F.		84
HAIR SALON	6	BARBER/BEAUTY SALON (100 GPD/CHAIR)		3 CHAIRS	300
MIXED-USE BLDG - RETAIL (1ST FLOOR)	7	RETAIL (50 GPD/1,000 S.F.)	1,612 S.F.		81
MIXED-USE BLDG - RESIDENTIAL (2ND FLOOR)	7	RETAIL STORAGE (50 GPD/1,000 S.F.)	1,612 S.F.		81
MIXED-USE BLDG - RETAIL (1ST FLOOR)	#12A	RETAIL (50 GPD/1,000 S.F.)	1,113 S.F.		56 (FUTURE)
MIXED-USE BLDG - RESIDENTIAL (2ND FLOOR)	#12A	RESIDENTIAL (110 GPD/BEDROOM)		2 BEDROOM	220 (FUTURE)
MIXED-USE BLDG - RETAIL (1ST FLOOR)	#12B	RETAIL (50 GPD/1,000 S.F.)	1,436 S.F.		72 (FUTURE)
MIXED-USE BLDG - RESIDENTIAL (2ND FLOOR)	#12B	RESIDENTIAL (110 GPD/BEDROOM)		2 BEDROOM	220 (FUTURE)
POST OFFICE		RETAIL (50 GPD/1,000 S.F.)	1,548 S.F.		77
					TOTAL = 3,781 GPD

GENERAL NOTE:

- EXISTING SITE FEATURES, SHOWN HEREON, ARE BASED ON THE EXISTING CONDITIONS PLAN, SHEET 2.0, PREPARED BY BAXTER NYE ENGINEERING & SURVEYING, DATED AUGUST 21, 2019.

SEPTIC DESIGN CALCULATIONS

DESIGN FLOW SYSTEM #1

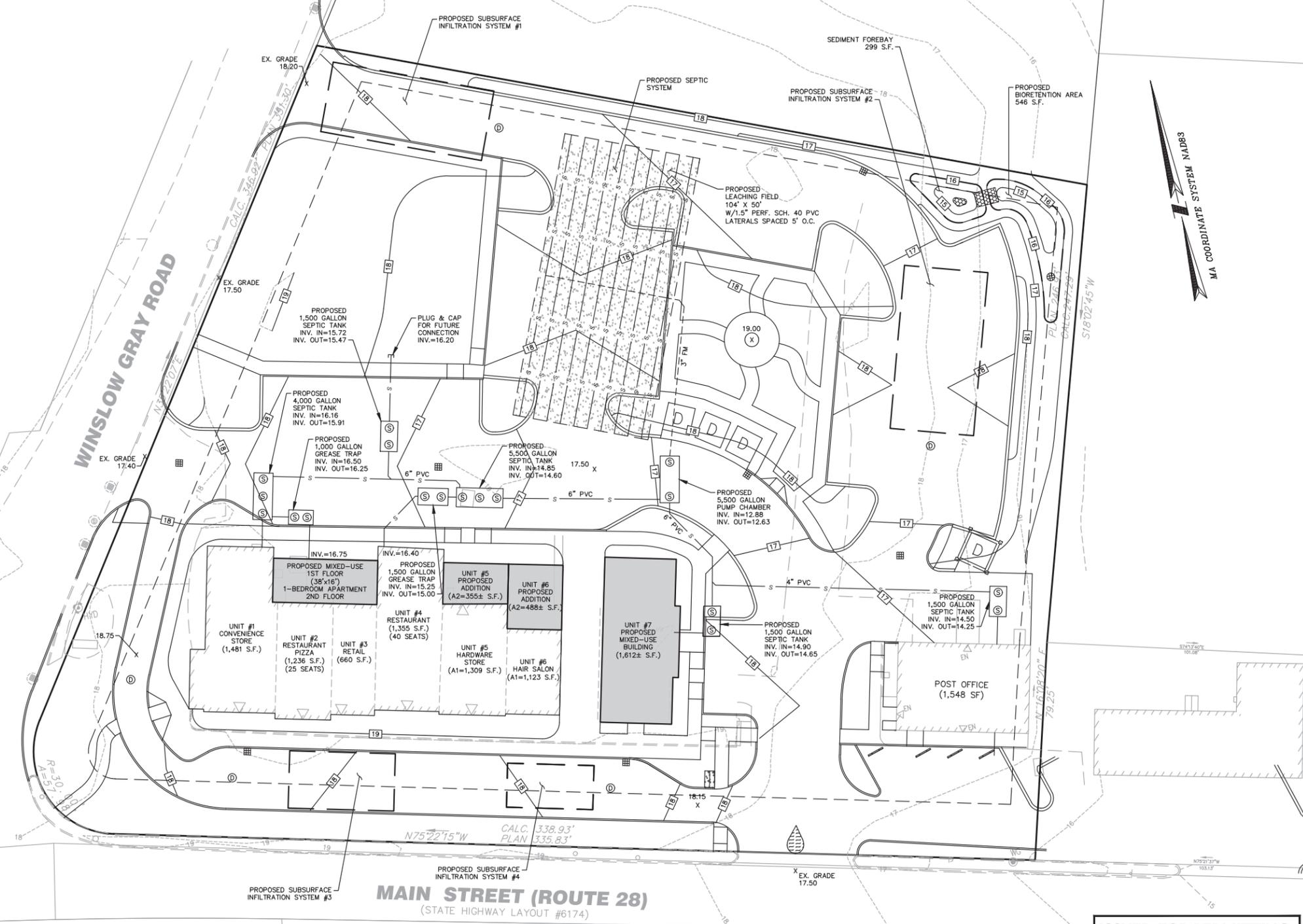
3,789 GPD (SEE ABOVE)

SIZE OF REQUIRED LEACHING FACILITY

DESIGN PERC. RATE: <2 MIN/INCH
LONG TERM APPL. RATE: 0.74 GPD/SF
3,789 GPD ÷ 0.74 GPD/SF = 5,120.3 SF

SIZE OF LEACHING FACILITY PROVIDED

USE STONE AND PIPE PRESSURE DOSED SYSTEM
104 FT X 50 FT = 5,200 SF
5,200 SF X 0.74 GPD/SF = 3,848 GPD INSTALLED CAPACITY
3,848 GPD > 3,781 GPD
67 GPD RESERVE CAPACITY



BENCHMARK: CENTER BACK EDGE OF CATCH BASIN
ELEV.=16.77' NAVD88

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



BRIAN G. YERGATIAN
PROFESSIONAL ENGINEER
DATE 3/26/20

GREAT ISLAND PLAZA
REDEVELOPMENT
590, 600 & 602 ROTUE 28
12 WINSLOW GRAY ROAD
IN
WEST YARMOUTH
MASSACHUSETTS
(BASNSTABLE COUNTY)
SEPTIC DESIGN PLAN

MARCH 26, 2020

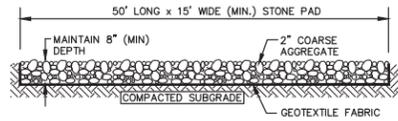
REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

BSC GROUP
349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919

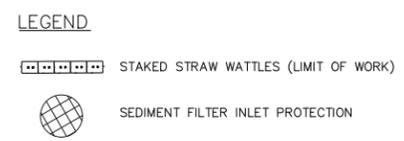
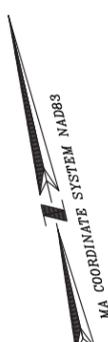
© 2020 The BSC Group, Inc.
SCALE: 1" = 20'
0 10 20 40 FEET
FILE: Projects-YAR\5035001\Civil\Drawings\5035001-SP.dwg
DWG.:
JOB. NO: 5-0350.01 SHEET 7 OF 13



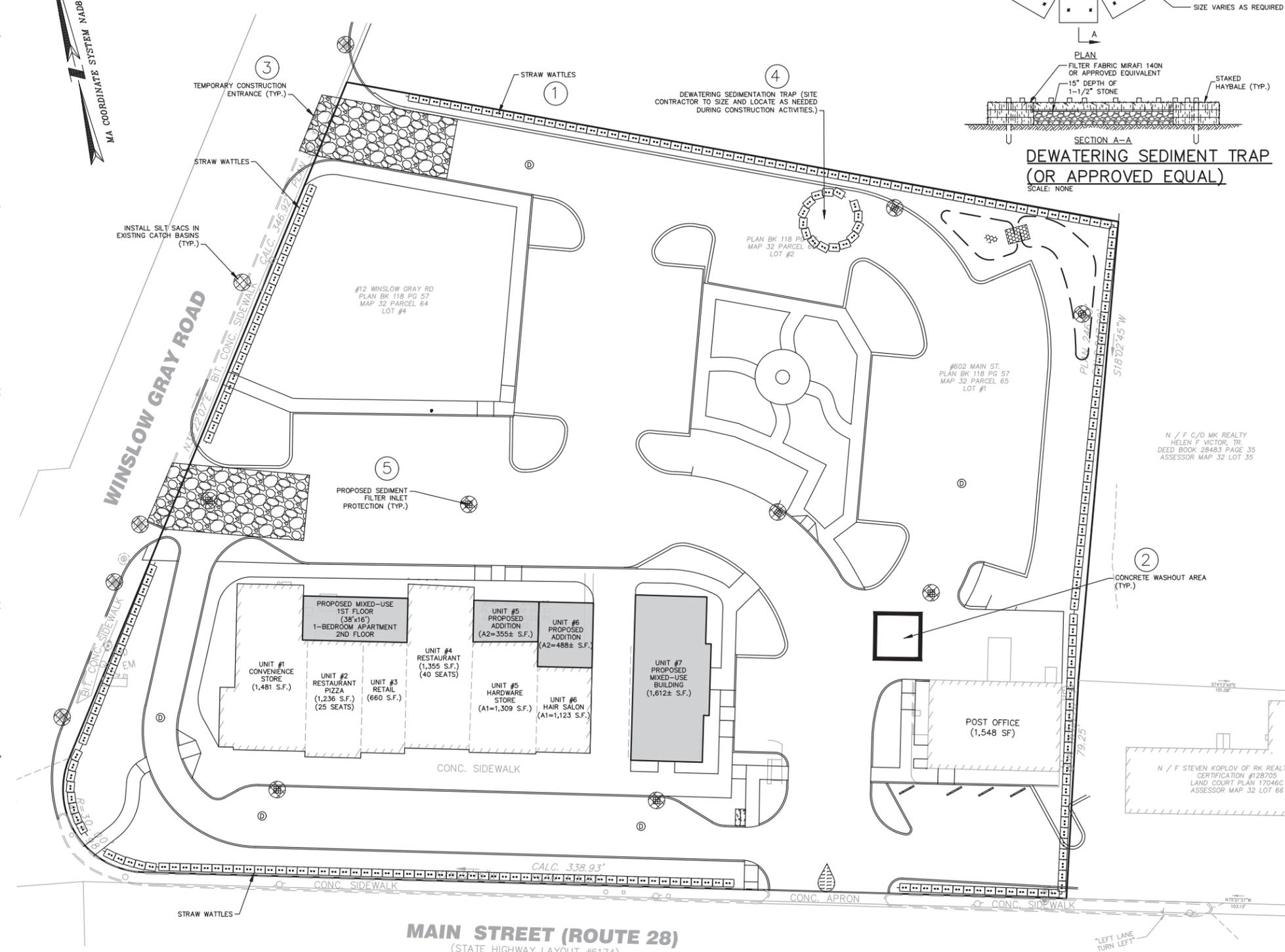
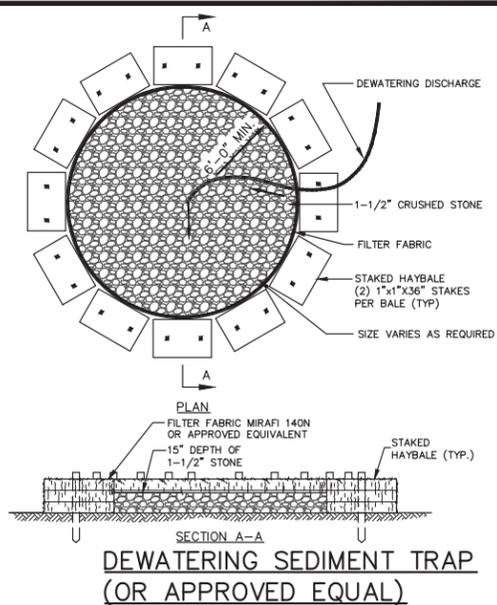
TEMPORARY CONSTRUCTION ENTRANCE
SCALE: NONE

EROSION AND SEDIMENT CONTROL NOTES:

- PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE DEVELOPER SHALL PHYSICALLY MARK LIMITS OF NO LAND DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS SHALL REMAIN IN PLACE UNTIL A CERTIFICATE OF COMPLETION HAS BEEN ISSUED.
- APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
- MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
- THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARING AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
- MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
- DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
- INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OR IN ACCORDANCE WITH THE 2012 EPA CONSTRUCTION GENERAL PERMIT.
- PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
- COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY OR SEWER REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN 1/4 TO 1/2 THE HEIGHT.
- SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT.
- BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE ENGINEER AND THE TOWN OF YARMOUTH. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RELATED RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
- SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
- FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
- A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXITS POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
- ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS, OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS HYDROSEEDING OR JUTE MATTING
- PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
- ALL SLOPES STEEPER THAN 3:1 (H:V, 33.3%), AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST NOT BE DISTURBED.
- TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
- PROPERLY MANAGE ON-SITE CONSTRUCTION AND WASTE MATERIALS.
- PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENTS,
- DUST SHALL BE CONTROLLED AT THE SITE.
- ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
- IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUND COVER PRACTICES.



- BEST MANAGEMENT PRACTICES (BMPs)**
- STAKED STRAW WATTLES
 - CONCRETE WASH OUT AREA
 - CONSTRUCTION ENTRANCE/EXIT
 - DEWATERING SEDIMENTATION TRAP
 - SEDIMENT FILTER INLET PROTECTION



GENERAL NOTE:

- EXISTING SITE FEATURES, SHOWN HEREON, ARE BASED ON THE EXISTING CONDITIONS PLAN, SHEET 2.0, PREPARED BY BAXTER NYE ENGINEERING & SURVEYING, DATED AUGUST 21, 2019.

MAIN STREET (ROUTE 28)
(STATE HIGHWAY LAYOUT #6174)

**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**

3/26/20
BRIAN G. YERGATIAN
PROFESSIONAL ENGINEER

GREAT ISLAND PLAZA REDEVELOPMENT

590, 600 & 602 ROUTE 28
12 WINSLOW GRAY ROAD

IN
WEST YARMOUTH MASSACHUSETTS
(BARNSTABLE COUNTY)

EROSION CONTROL PLAN

MARCH 26, 2020

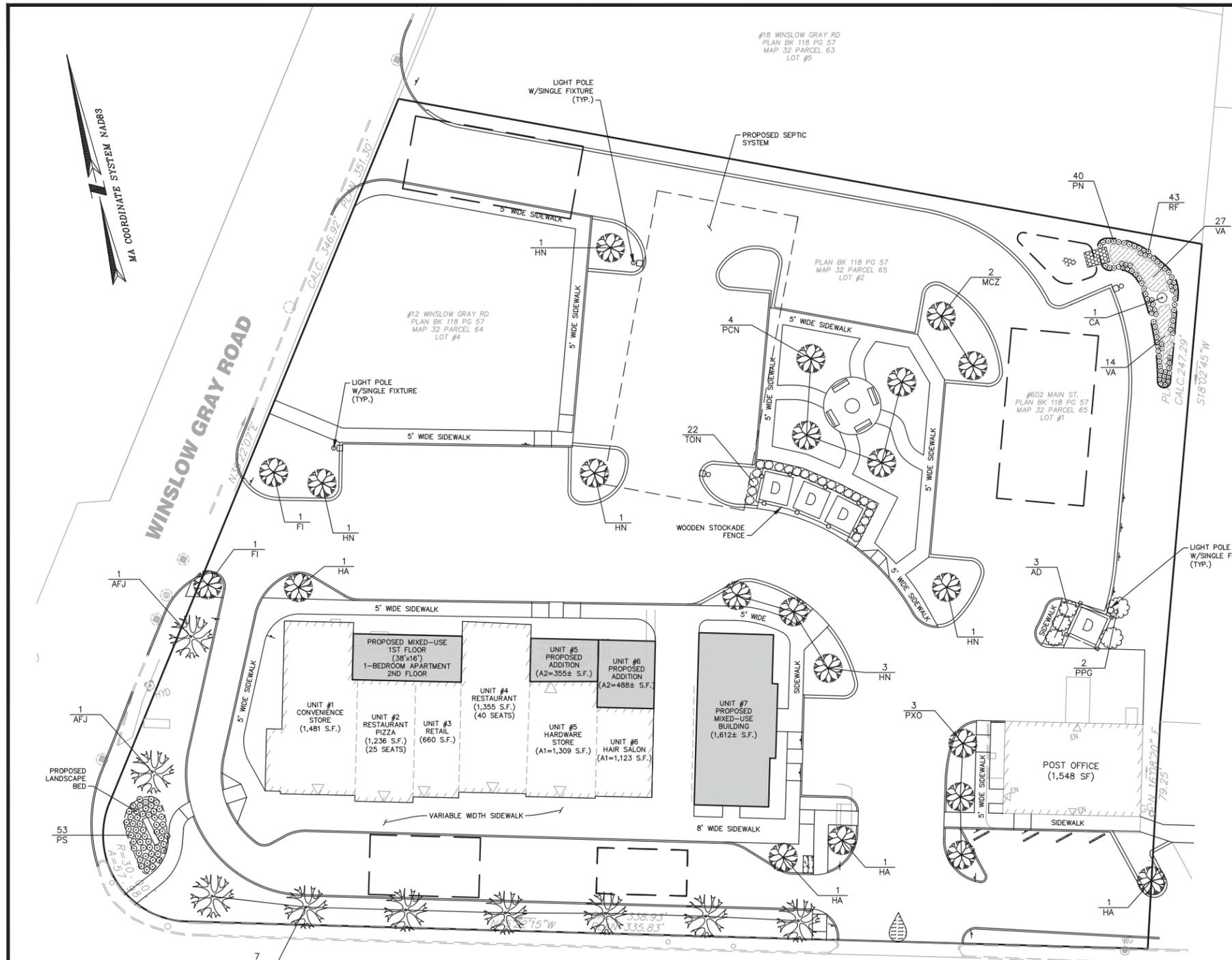
REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919

© 2020 The BSC Group, Inc.
SCALE: 1" = 20'
0 10 20 40 FEET
FILE: Projects-YAR\5035001\Civil\Drawings\5035001-sp.dwg
DWG: SHEET 8 OF 13
JOB. NO: 5-0350.01



- PLANTING NOTES**
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC.
 2. ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.
 3. VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.
 4. NO PLANT SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
 5. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY BORE TO GRADE IN THE NURSERY.
 6. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
 7. THE CONTRACTOR SHALL CLEARLY MARK LIMITS OF CLEARING AND LIMITS OF SELECTIVE PRUNING AND THINNING, FOR REVIEW BY THE A/E PRIOR TO ANY CLEARING OPERATIONS.
 8. ALL TREES NOTED FOR CLEARING AND SELECTIVE PRUNING AND THINNING SHALL BE EXECUTED BY A LICENSED ARBORIST.
 9. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT EXISTING VEGETATION THAT IS TAGGED BY THE A/E, "TO BE SAVED".
 10. ALL TREES TO BE SAVED SHALL BE PROTECTED WITH A SNOW FENCE AND HAY BALES CIRCLING THE TREE AT A MINIMUM DISTANCE OF 1/2 THE CANOPY.
 11. THE A/E RESERVES THE RIGHT TO ADJUST FINAL GRADES IN THE FIELD TO SAVE EXISTING VEGETATION.
 12. PLANT QUANTITIES NOTED IN THE PLANT SCHEDULE ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS NOTED ON THE PLANTING PLAN.
 13. REGRADE STOCKPILE AREA AFTER REMOVAL OF SURPLUS MATERIALS (SEE SITE WORK SPECIFICATIONS). LOAM AND SEED THE DISTURBED AREA.
 14. TOPSOIL STRIPPED FROM THE SITE AND PROPERLY STOCKPILED PRIOR TO APPLICATION MAY, UPON APPROVAL OF THE ENGINEER, BE USED FOR PREPARATION OF LAWNS AND PLANTING BEDS. IT SHALL BE FREE OF LARGE (ONE (1) INCH OR GREATER) COBBLES, ROOTS, OLD SOD, TRASH, WOOD OR OTHER CONTAMINANTS AND BE OF A FRIABLE CONSISTENCY AND SUITABLE FOR PLANT GROWTH.
 15. ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED PINE BARK MULCH TO A DEPTH OF THREE (3) INCHES.
 16. CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.
 17. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.
 18. THE LANDSCAPE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.
 19. ALL ISLANDS SHALL RECEIVE A 4" DEPTH OF SHREDDED PINE BARK MULCH.
 20. PROVIDE 6" LOAM AND SEED ON ALL DISTURBED AREAS UNLESS NOTED OTHERWISE.
 21. REMOVE ALL ROCKS AND DEBRIS FROM SOIL SURFACE AND GRADE TO AN EVEN SURFACE.
 22. SPREAD 10-10-10 FERTILIZER AT A RATE OF TWENTY-TWO (22) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET AND INCORPORATE INTO THE SOIL UNIFORMLY.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	NOTES	SIZE
ARO	7	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	B & B	3"-3.5" CAL
AFJ	2	ACER X FREEMANII 'JEFFREY' AUTUMN BLAZE MAPLE	B & B	3"-3.5" CAL
MCZ	2	MALUS ZUMI CALOCARPA REDBUD ZUMI CRABAPPLE	B & B	3" CAL
PXO	3	PRUNUS X OKAME OKAME CHERRY	B & B	3" CAL
PCN	4	PYRUS CALLERYANA 'NEW BRADFORD' NEW BRADFORD PEAR	B & B	3" CAL
EVERGREEN TREES	QTY	BOTANICAL NAME	NOTES	SIZE
PPG	2	PICEA PUNGENS CLAUCA 'BLUE SELECT' BLUE COLORADO SPRUCE	B & B	7-8" HT.
TON	22	THUJA OCCIDENTALIS 'DARK GREEN' DARK AMERICAN ARBORVITAE	B & B	6-7" HT
SHRUBS	QTY	BOTANICAL NAME	NOTES	SIZE
AD	3	AZALEA X 'DELAWARE VALLEY WHITE' VALLEY WHITE AZALEA	18-24" HT.	
CA	2	CLETHRA ALNIFOLIA SWEET PEPPERBUSH		
FI	2	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA	18-24" HT.	
HA	4	HYDRANGEA ARBORESCENS 'ANNABELLE' ANNABELLE SMOOTH HYDRANGEA	15-18" HT	
HN	6	HYDRANGEA MACROPHYLLA 'NIKKO BLUE' NIKKO BLUE HYDRANGEA	18-24" HT.	
PERENNIALS	QTY	BOTANICAL NAME	NOTES	
PN	40	PHLOX PANICULATA 'NICKY' NICKY TALL PHLOX	1 GAL	
RF	43	RUBEBECKIA FULGIDA 'GOLDSTRUM' BLACK-EYED SUSAN	24-30" HT.	
PS	53	PANICUM VIRGATUM 'SHENANDOAH' SWITCH GRASS	2 GAL	
GROUND COVERS	QTY	BOTANICAL NAME	CONT	SPACING
VA	43	VACCINIUM ANGSTIFOLIUM 'BRUNSWICK' LOWBUSH GROUNDCOVER BLUEBERRY	1 GAL	24" o.c.

- NOTES:**
1. ALL TREES SHALL BE TAGGED AT THE NURSERY BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL PROVIDE A MINIMUM OF 7 DAY PRIOR NOTICE. OUT OF STATE TRAVEL SHALL BE PAID FOR BY THE CONTRACTOR.
 2. ALL PLANTS SHALL BE LAID OUT PER THE PLAN AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ADJUSTMENTS TO PLANT LOCATIONS MAY ONLY BE MADE BY THE LANDSCAPE ARCHITECT. IF PLANTS ARE INSTALLED PRIOR TO APPROVAL OF LOCATION BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL BE MADE TO REPLANT PER THE DIRECTION OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.

**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**



BRIAN G. YERGATIAN
PROFESSIONAL ENGINEER
DATE 3/28/20

**GREAT ISLAND PLAZA
REDEVELOPMENT**

590, 600 & 602 ROUTE 28
12 WINSLOW GRAY ROAD

IN
WEST YARMOUTH
MASSACHUSETTS
(BARNSTABLE COUNTY)

**LANDSCAPE & LIGHTING
PLAN**

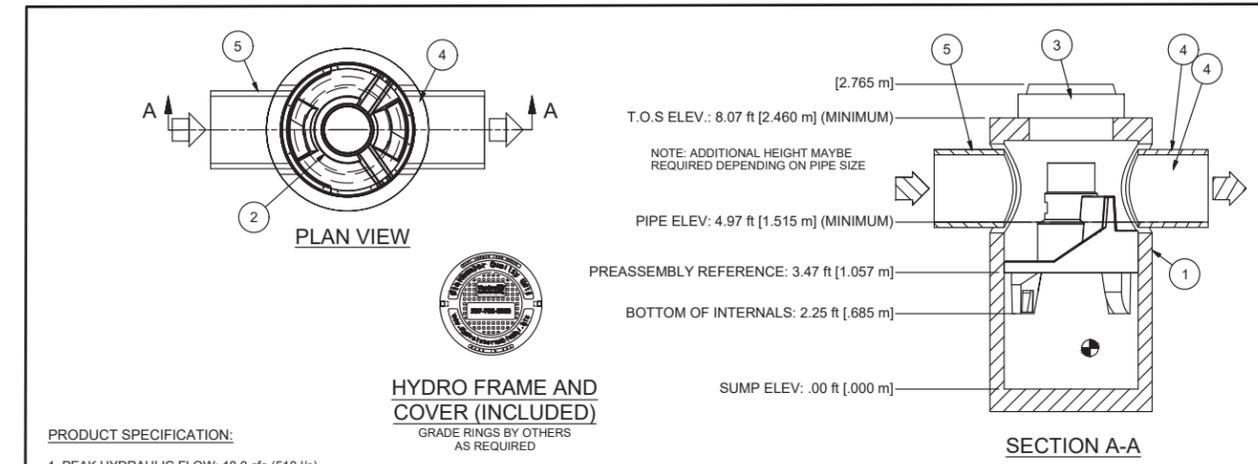
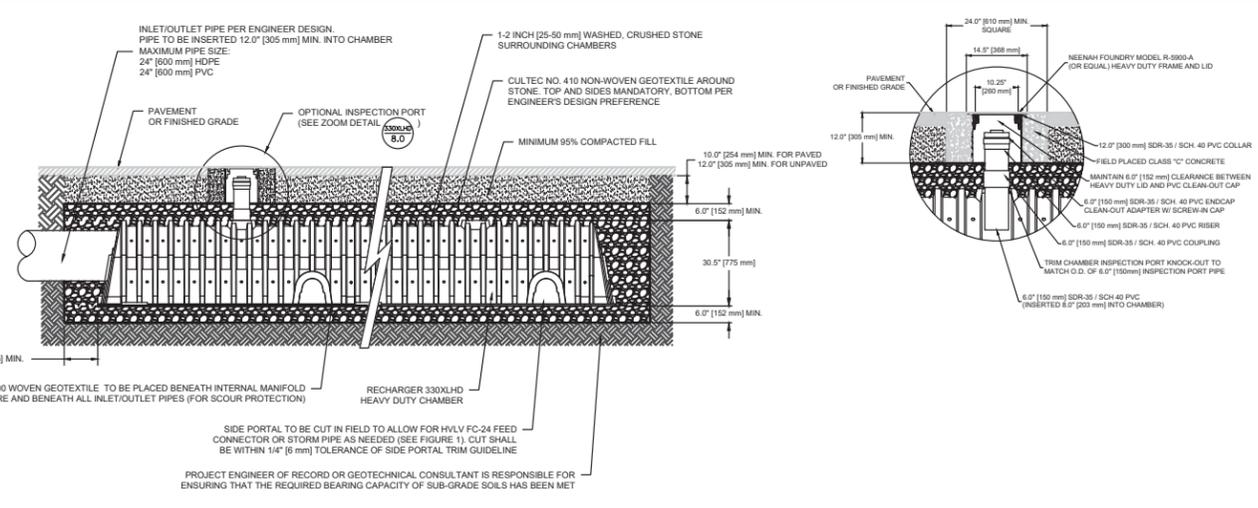
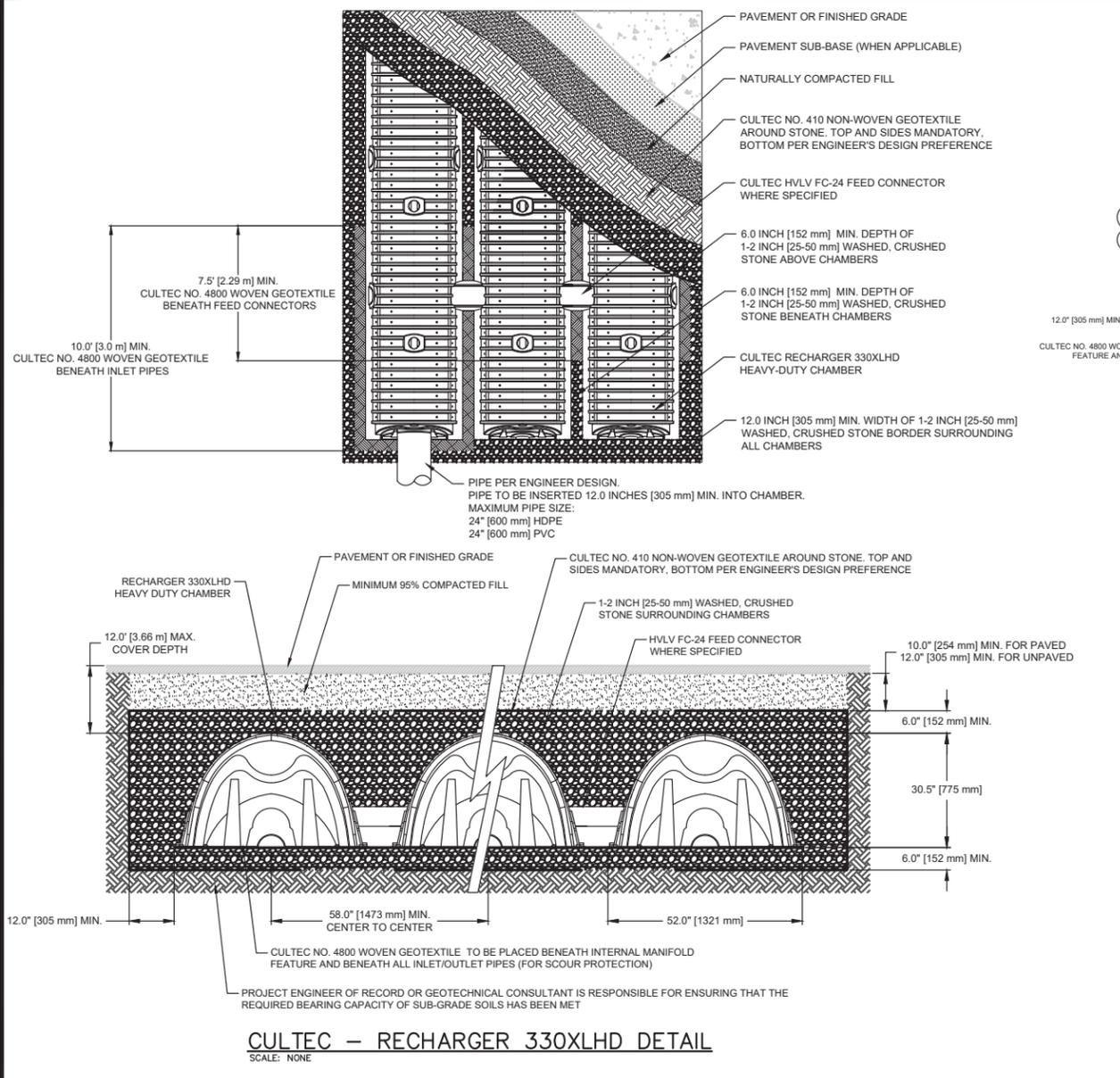
MARCH 26, 2020

REVISIONS:

NO.	DATE	DESC.

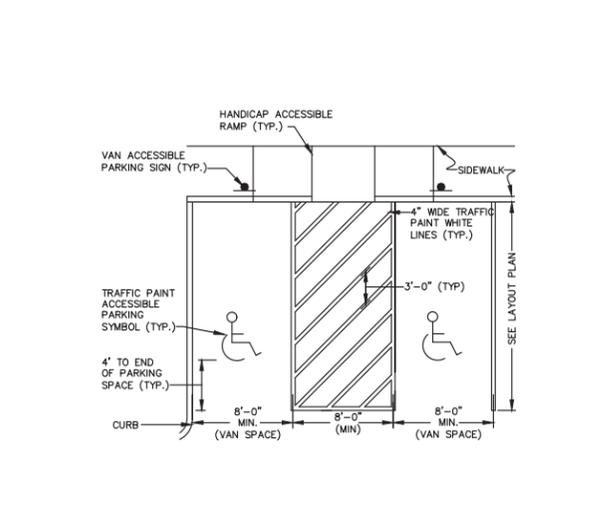
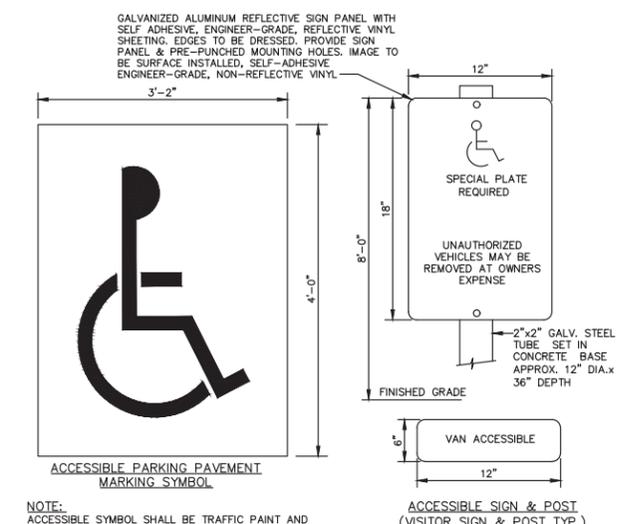
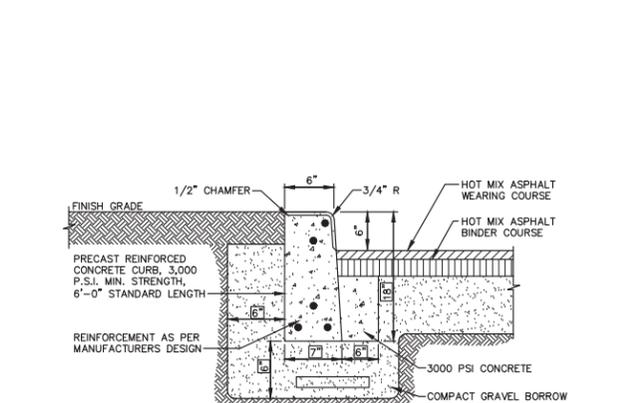
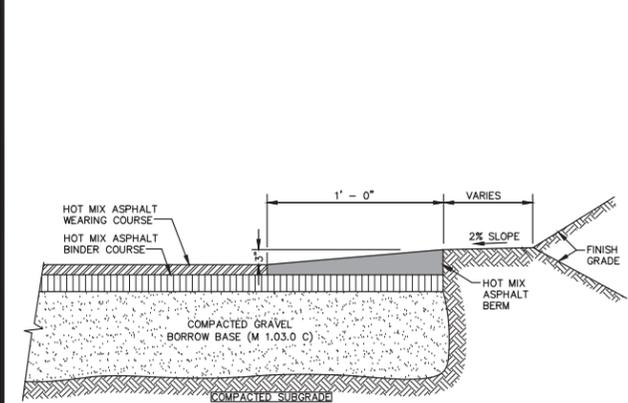
PREPARED FOR:
GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

BSC GROUP
349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919



- PRODUCT SPECIFICATION:**
- PEAK HYDRAULIC FLOW: 18.0 cfs (510 l/s)
 - MIN SEDIMENT STORAGE CAPACITY: 0.7 cu. yd. (0.5 cu. m.)
 - OIL STORAGE CAPACITY: 191 gal. (723 liters)
 - MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. (600 mm)
 - THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
 - FOR MORE PRODUCT INFORMATION INCLUDING REGULATORY ACCEPTANCES, PLEASE VISIT <https://hydro-int.com/en/products/first-defense>
- GENERAL NOTES:**
- General Arrangement drawings only. Contact Hydro International for site specific drawings.
 - The diameter of the inlet and outlet pipes may be no more than 24".
 - Multiple inlet pipes possible (refer to project plan).
 - Inlet/outlet pipe angle can vary to align with drainage network (refer to project plan.s)
 - Peak flow rate and minimum height limited by available cover and pipe diameter.
 - Larger sediment storage capacity may be provided with a deeper sump depth.

WATER QUALITY UNITS
SCALE: NONE



BRIAN G. YERGATIAN
PROFESSIONAL ENGINEER
DATE: 3/26/20

GREAT ISLAND PLAZA REDEVELOPMENT
590, 600 & 602 ROUTE 28
12 WINSLOW GRAY ROAD
IN
WEST YARMOUTH MASSACHUSETTS
(BARNSTABLE COUNTY)

DETAIL SHEET I

MARCH 26, 2020

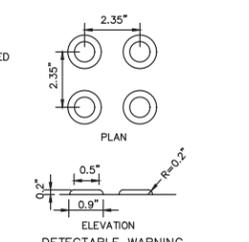
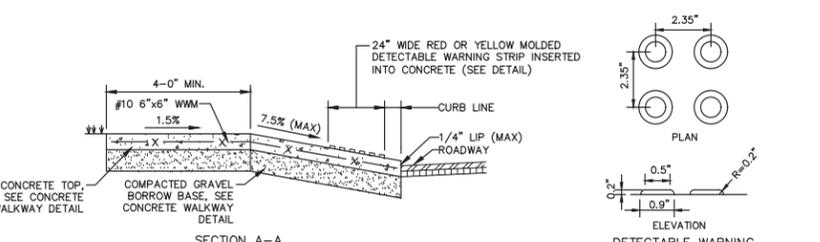
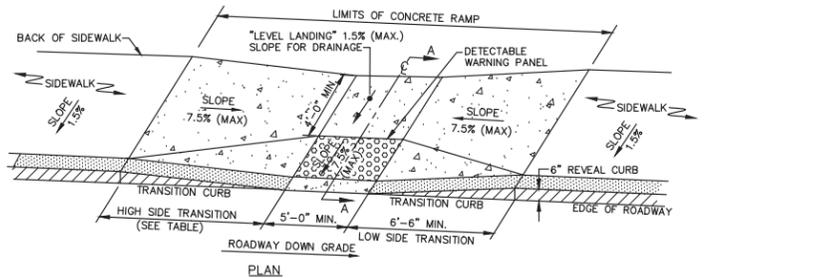
REVISIONS:

NO.	DATE	DESC.

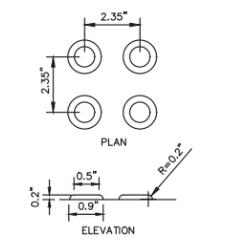
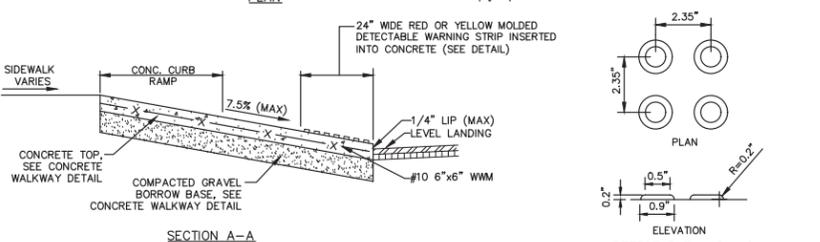
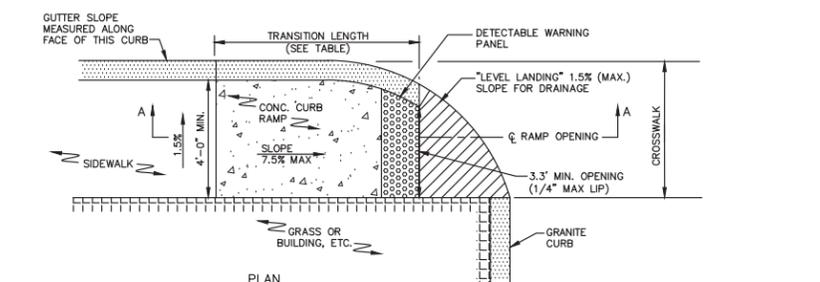
PREPARED FOR:
GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

BSC GROUP
349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919

© 2020 The BSC Group, Inc.
SCALE: AS NOTED



ACCESSIBLE CURB RAMP TYPE 'A' - PARALLEL PERPENDICULAR
SCALE: NONE



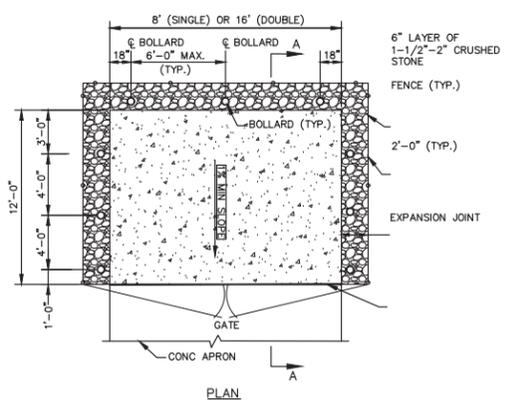
ACCESSIBLE CURB RAMP TYPE 'B' - SINGLE DIRECTION WITH LEVEL ENTRANCE
SCALE: NONE

CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	HIGH SIDE TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

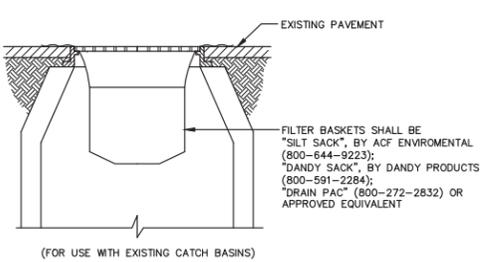
- NOTES:
- SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = ± 0.50%
 - THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 - THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
 - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 - BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.

CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

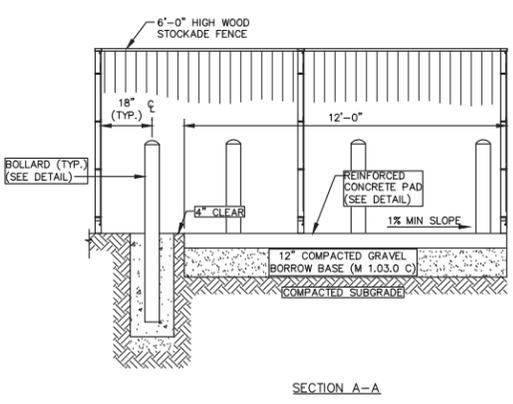
- NOTES:
- SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = ± 0.50%
 - THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 - THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
 - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 - BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.



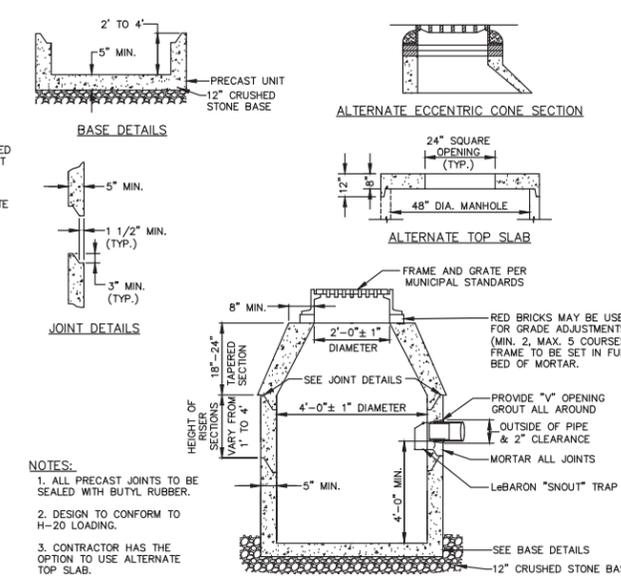
DUMPSTER PAD
SCALE: NONE



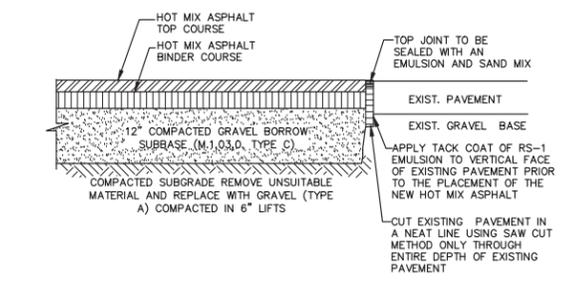
SEDIMENT FILTER INLET PROTECTION
SCALE: NONE



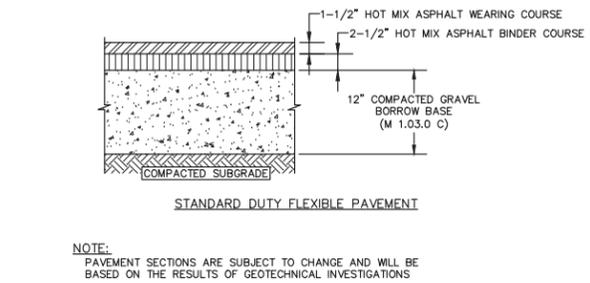
FOREBAY PEASTONE FILTER
SCALE: NONE



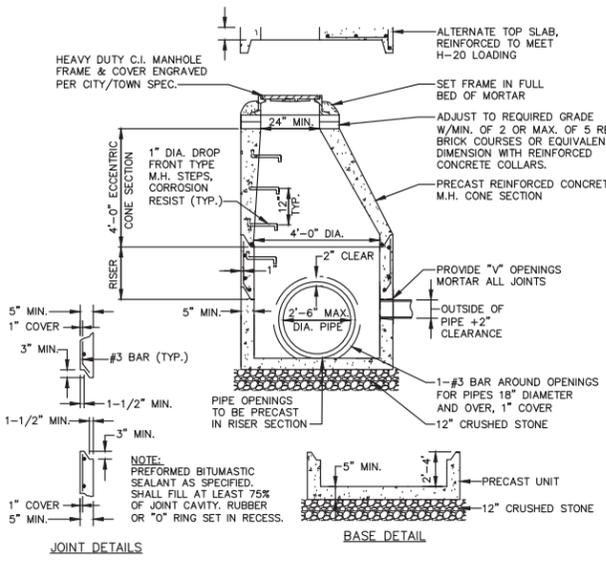
PRECAST CONCRETE CATCH BASIN
SCALE: NONE



HOT MIX ASPHALT PAVEMENT JOINTS
SCALE: NONE



HOT MIX ASPHALT PAVEMENT SECTION
SCALE: NONE



PRECAST CONCRETE DMH
SCALE: NONE



BRIAN G. YERGATIAN
PROFESSIONAL ENGINEER
DATE 3/26/20

GREAT ISLAND PLAZA REDEVELOPMENT

590, 600 & 602 ROUTE 28
12 WINSLOW GRAY ROAD

IN
WEST YARMOUTH MASSACHUSETTS
(BARNSTABLE COUNTY)

DETAIL SHEET II

MARCH 26, 2020

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

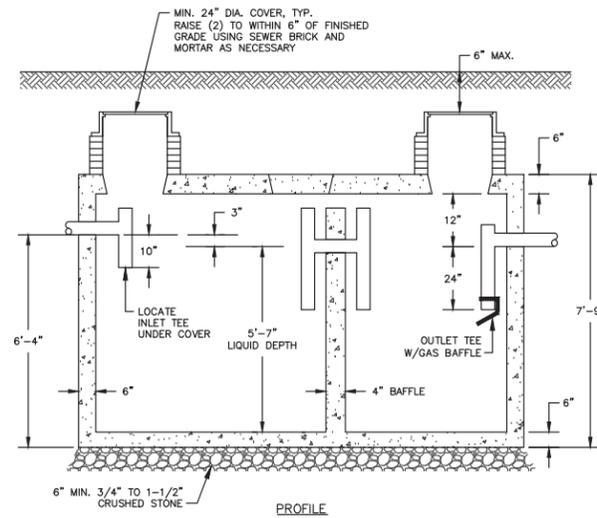
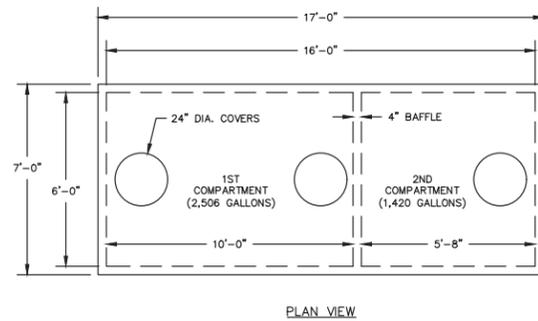
BSC GROUP
349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919

© 2020 The BSC Group, Inc.
SCALE: AS NOTED

4,000 GALLON 2-COMPARTMENT SEPTIC TANK (H-20)

NOT TO SCALE

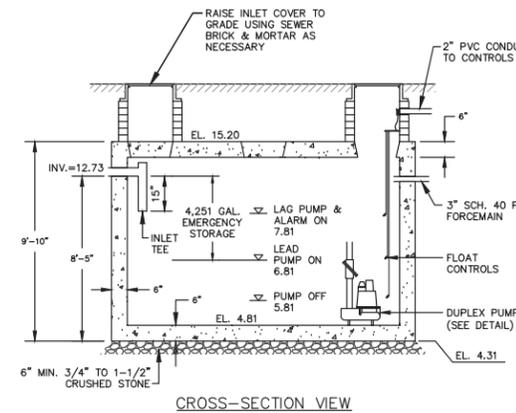
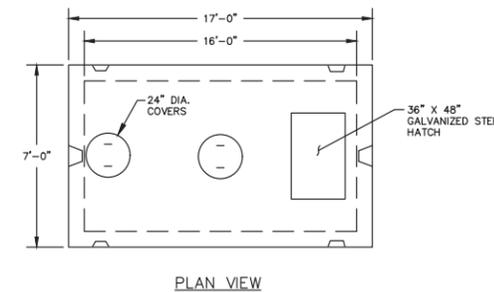
- NOTES:**
1. SEPTIC TANK SHALL BE STEEL REINFORCED CONCRETE.
 2. SEPTIC TANK SHALL BE CAPABLE OF WITHSTANDING H-20 LOADING.
 3. ALL PIPE CONNECTIONS AND CONCRETE CONSTRUCTION SHALL BE WATERTIGHT.
 4. TEES SHALL BE SCH. 40 PVC AND SHALL BE LOCATED WITHIN 12" OF TANK WALL AND ACCESSIBLE FROM TANK COVER.
 5. FILL ALL UNUSED KNOCKOUTS WITH HYDRAULIC CEMENT.
 6. IF NO PORTION OF THE GROUND SURFACE ABOVE TANK WILL BE SUBJECT TO VEHICLE LOADS, AN H-10 SEPTIC TANK MAY BE USED.



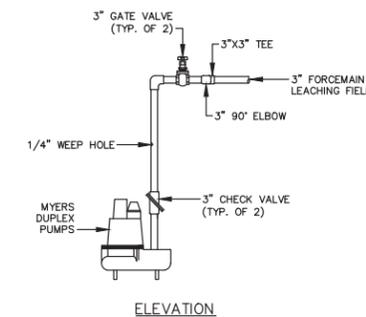
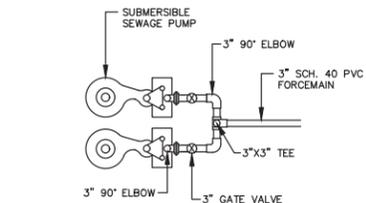
5,500 GALLON PUMP CHAMBER

NOT TO SCALE

- NOTES:**
1. PUMP CHAMBER SHALL BE STEEL REINFORCED CONCRETE, CAPABLE OF WITHSTANDING H-20 LOADING.
 2. ALL PIPE CONNECTIONS AND CONCRETE CONSTRUCTION SHALL BE WATERTIGHT FROM THE FACTORY.
 3. INLET TEE SHALL BE SCH. 40 PVC AND SHALL BE LOCATED UNDER MANHOLE FOR EASE OF MAINTENANCE.
 4. POWER CABLES TO BE PLACED IN CONDUIT IN ACCORDANCE WITH LOCAL BUILDING AND WIRE CODES.
 5. 1/4" WEEP HOLE TO BE DRILLED BETWEEN THE QUICK DISCONNECT COUPLING AND THE TANK WALL ON THE BOTTOM OF THE FORCE MAIN.
 6. PUMP AND ALARM SHALL BE WIRED ON SEPARATE CIRCUITS.
 7. 2" PVC CONDUIT TO CONTROL BOX SHALL EXTEND THROUGH THE CONCRETE RISER.
 8. ALL UNUSED KNOCKOUTS SHALL BE FILLED WITH HYDRAULIC CEMENT.
 9. THE QUICK DISCONNECT SHOULD BE ACCESSIBLE FROM WITHIN THE RISER.

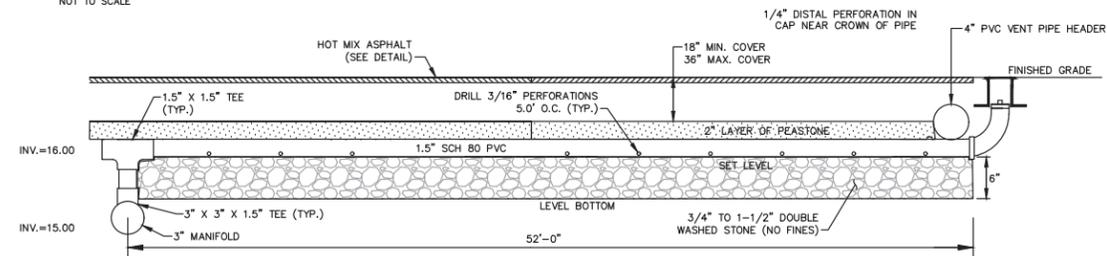


NOTE:
PUMPS SHALL BE LIBERTY LE100-SERIES (1 HP) OR APPROVED EQUAL AND SHALL BE CAPABLE OF DELIVERING 134 GPM @ 17 FT TOTAL DYNAMIC HEAD



SECTION A-A THROUGH LEACHING FIELD

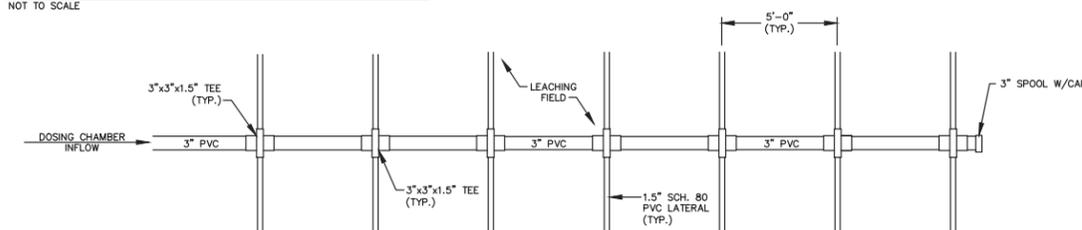
NOT TO SCALE



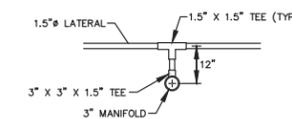
- NOTES:**
1. 1/4" DIA. ORIFICES ARE TO BE DRILLED IN EACH LATERAL AT 6 O'CLOCK
 2. EACH ORIFICE SHALL BE EQUIPPED WITH AN ORIFICE SHIELD

PRESSURE-DOSED HEADER MANIFOLD

NOT TO SCALE



NOTE:
ALL PIPING TO BE SOLVENT WELDED

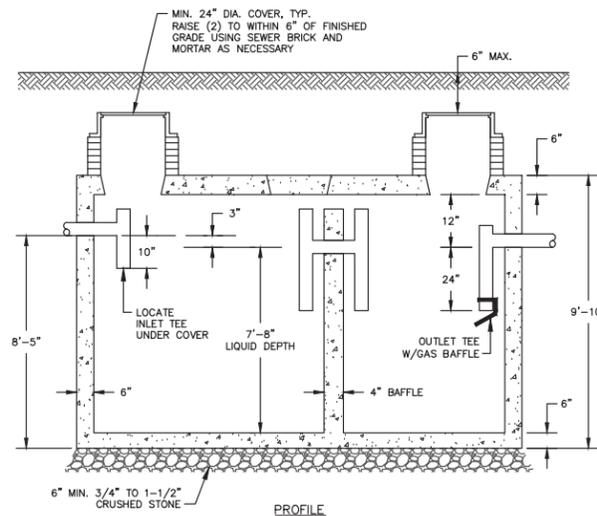
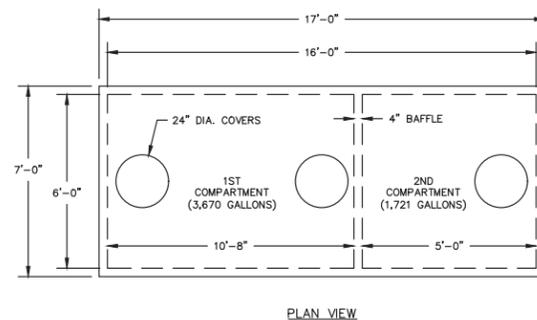


**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**

5,500 GALLON 2-COMPARTMENT SEPTIC TANK (H-20)

NOT TO SCALE

- NOTES:**
1. SEPTIC TANK SHALL BE STEEL REINFORCED CONCRETE.
 2. SEPTIC TANK SHALL BE CAPABLE OF WITHSTANDING H-20 LOADING.
 3. ALL PIPE CONNECTIONS AND CONCRETE CONSTRUCTION SHALL BE WATERTIGHT.
 4. TEES SHALL BE SCH. 40 PVC AND SHALL BE LOCATED WITHIN 12" OF TANK WALL AND ACCESSIBLE FROM TANK COVER.
 5. FILL ALL UNUSED KNOCKOUTS WITH HYDRAULIC CEMENT.
 6. IF NO PORTION OF THE GROUND SURFACE ABOVE TANK WILL BE SUBJECT TO VEHICLE LOADS, AN H-10 SEPTIC TANK MAY BE USED.



3/26/20
BRIAN G. YERGATIAN
PROFESSIONAL ENGINEER

GREAT ISLAND PLAZA REDEVELOPMENT

590, 600 & 602 ROUTE 28
12 WINSLOW GRAY ROAD

IN
WEST YARMOUTH MASSACHUSETTS
(BARNSTABLE COUNTY)

SEPTIC SYSTEM DETAIL SHEET I

MARCH 26, 2020

REVISIONS:		
NO.	DATE	DESC.

PREPARED FOR:
GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

BSC GROUP
349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919

© 2020 The BSC Group, Inc.
SCALE: AS NOTED

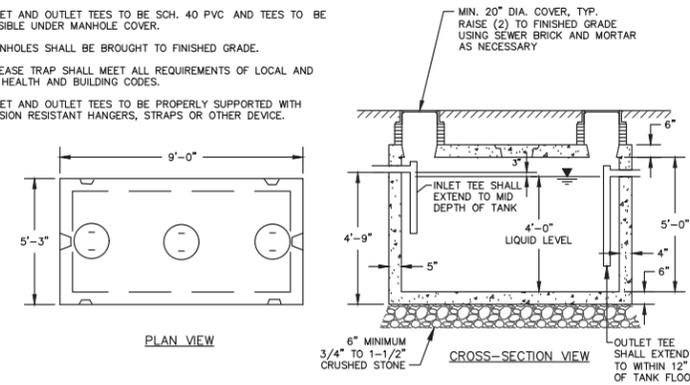
FILE: YAR\5035001\CAD\5035001-SP.dwg
DWG: SHEET 12 OF 13
JOB. NO: 5-0350.01

1,000 GALLON GREASE TRAP (H-20)

NOT TO SCALE

NOTES:

- TANK SHALL BE PRECAST CONCRETE.
- GREASE TRAP SHALL WITHSTAND HS-20 LOADING.
- ALL PIPE CONNECTIONS AND CONCRETE JOINTS SHALL BE WATERTIGHT.
- INLET AND OUTLET TEES TO BE SCH. 40 PVC AND TEES TO BE ACCESSIBLE UNDER MANHOLE COVER.
- MANHOLES SHALL BE BROUGHT TO FINISHED GRADE.
- GREASE TRAP SHALL MEET ALL REQUIREMENTS OF LOCAL AND STATE HEALTH AND BUILDING CODES.
- INLET AND OUTLET TEES TO BE PROPERLY SUPPORTED WITH CORROSION RESISTANT HANGERS, STRAPS OR OTHER DEVICE.

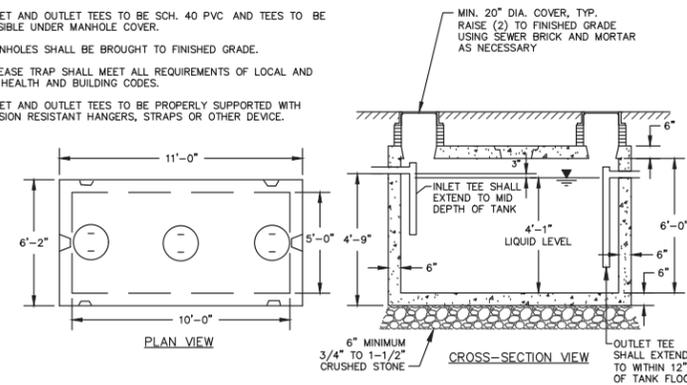


1,500 GALLON GREASE TRAP (H-20)

NOT TO SCALE

NOTES:

- TANK SHALL BE PRECAST CONCRETE.
- GREASE TRAP SHALL WITHSTAND HS-20 LOADING.
- ALL PIPE CONNECTIONS AND CONCRETE JOINTS SHALL BE WATERTIGHT.
- INLET AND OUTLET TEES TO BE SCH. 40 PVC AND TEES TO BE ACCESSIBLE UNDER MANHOLE COVER.
- MANHOLES SHALL BE BROUGHT TO FINISHED GRADE.
- GREASE TRAP SHALL MEET ALL REQUIREMENTS OF LOCAL AND STATE HEALTH AND BUILDING CODES.
- INLET AND OUTLET TEES TO BE PROPERLY SUPPORTED WITH CORROSION RESISTANT HANGERS, STRAPS OR OTHER DEVICE.

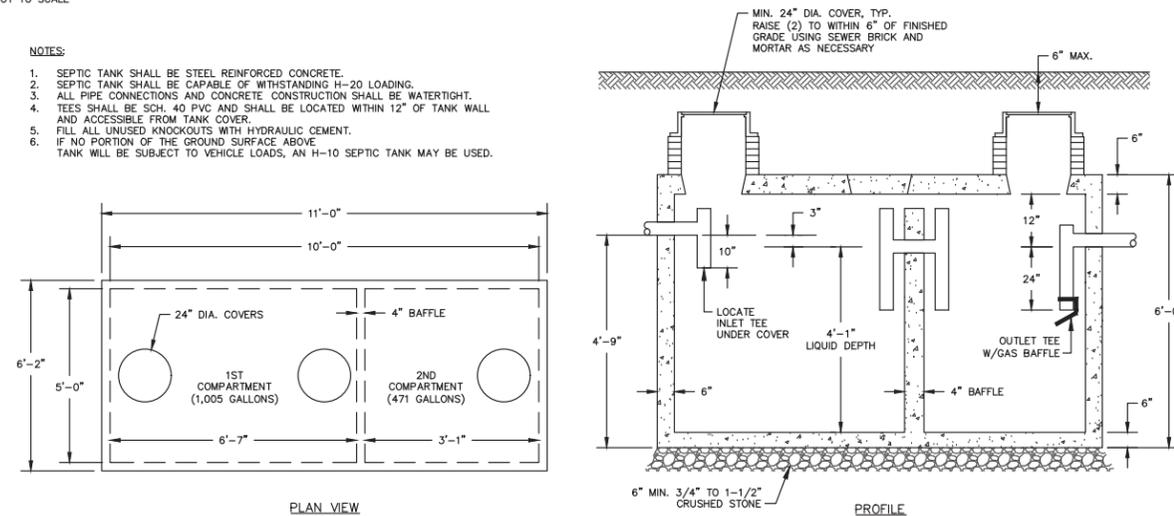


1,500 GALLON 2-COMPARTMENT SEPTIC TANK (H-20)

NOT TO SCALE

NOTES:

- SEPTIC TANK SHALL BE STEEL REINFORCED CONCRETE.
- SEPTIC TANK SHALL BE CAPABLE OF WITHSTANDING H-20 LOADING.
- ALL PIPE CONNECTIONS AND CONCRETE CONSTRUCTION SHALL BE WATERTIGHT.
- TEES SHALL BE SCH. 40 PVC AND SHALL BE LOCATED WITHIN 12" OF TANK WALL AND ACCESSIBLE FROM TANK COVER.
- FILL ALL UNUSED KNOCKOUTS WITH HYDRAULIC CEMENT.
- IF NO PORTION OF THE GROUND SURFACE ABOVE TANK WILL BE SUBJECT TO VEHICLE LOADS, AN H-10 SEPTIC TANK MAY BE USED.



BRIAN G. YERGATIAN
PROFESSIONAL ENGINEER

3/26/20
DATE

GREAT ISLAND PLAZA REDEVELOPMENT

590, 600 & 602 ROUTE 28
12 WINSLOW GRAY ROAD

IN
WEST YARMOUTH
MASSACHUSETTS
(BARNSTABLE COUNTY)

SEPTIC SYSTEM DETAIL SHEET II

MARCH 26, 2020

REVISIONS:		
NO.	DATE	DESC.

PREPARED FOR:
GREAT ISLAND PLAZA LLC
C/O TATRA BUILDING COMPANY
1268 ROUTE 28
SOUTH YARMOUTH, MA 02664

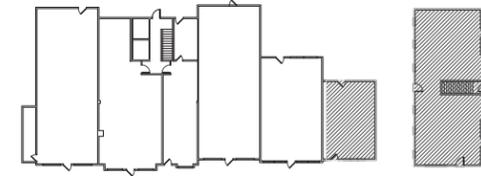
BSC GROUP
349 Main Street - Route 28
West Yarmouth, Massachusetts
02673
508 778 8919

© 2020 The BSC Group, Inc.
SCALE: AS NOTED

FILE: YAR\5035001\CAD\5035001-SP.dwg
DWG.:
JOB. NO: 5-0350.01 SHEET 13 OF 13

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

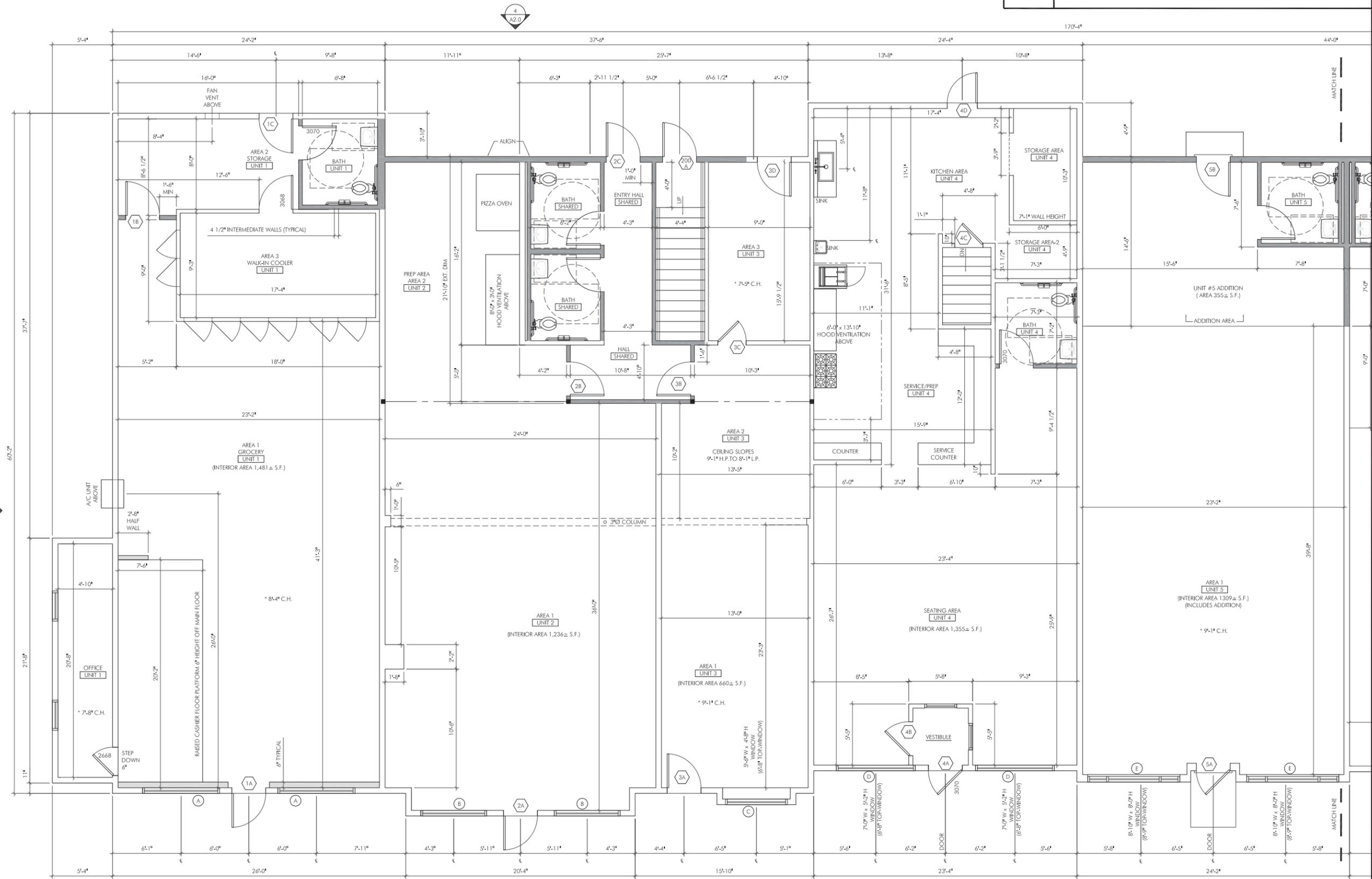
KEY PLAN:
SCALE: 1/32" = 1'-0"



PROJECT:
GREAT ISLAND PLAZA RENOVATIONS
TATRA BUILDING COMPANY, INC.
1268 ROUTE 28
SOUTH YARMOUTH

PROJECT NUMBER: 19230

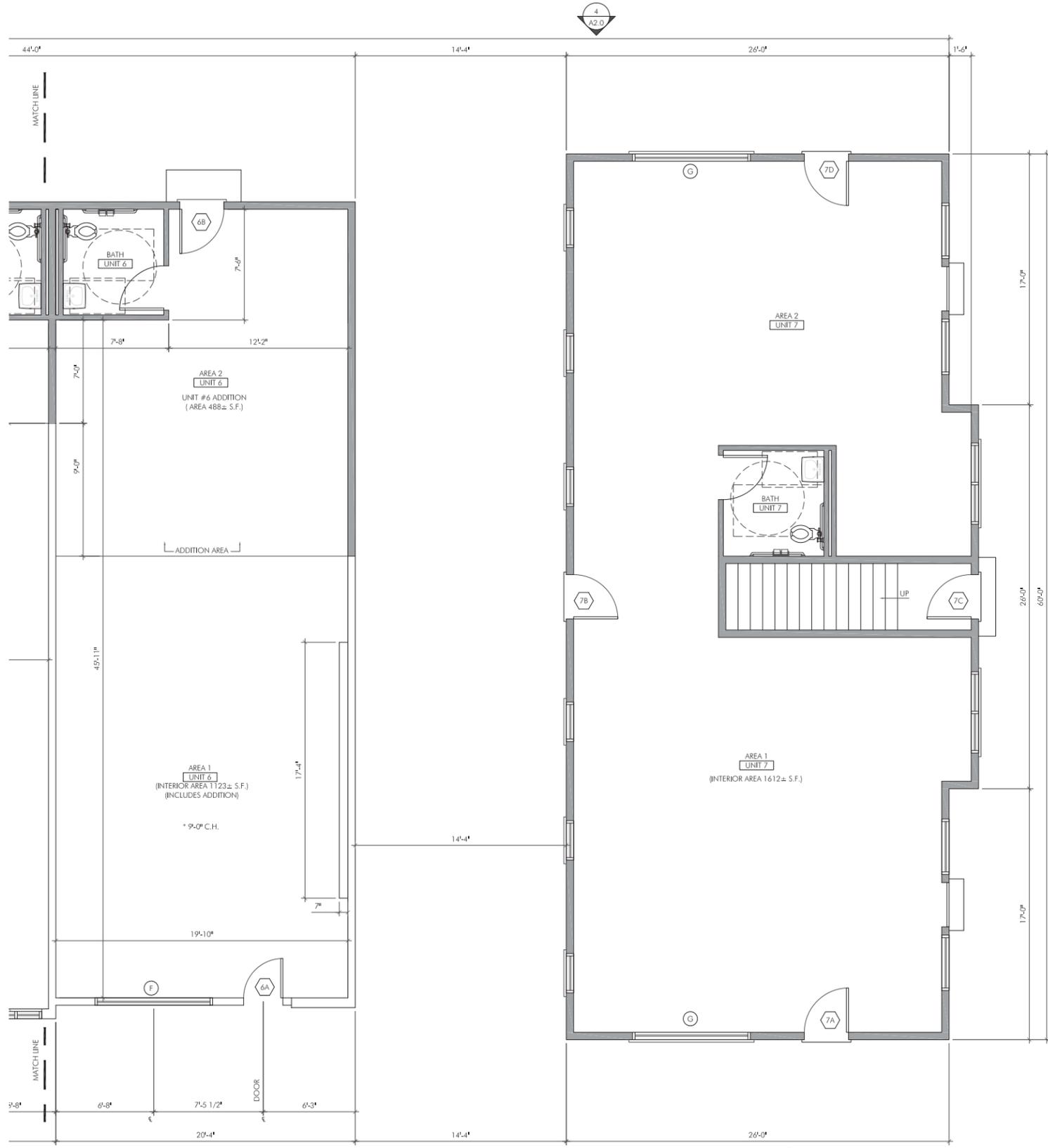
DENNIS COLWELL
ARCHITECTS
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035
P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM



FLOOR PLAN
SCALE: 1/4" = 1'-0"

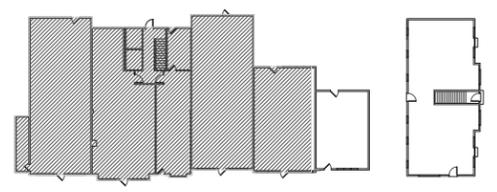
STAIR:	
ISSUE:	DATE:
PRELIMINARY PLANS	04.22.2020
DRAWING SCALE: 1/4" = 1'-0"	
DRAWN BY: DES	CHECKED BY: DMC
DRAWING TITLE: FIRST FLOOR PLAN	
DRAWING NUMBER:	

A1.0



FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY PLAN:
SCALE: 1/32" = 1'-0"



PROJECT:
GREAT ISLAND PLAZA RENOVATIONS
TATRA BUILDING COMPANY, INC.
1268 ROUTE 28
SOUTH YARMOUTH

PROJECT NUMBER: 19230



DENNIS COLWELL
ARCHITECTS
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035
P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM

STAIR:

ISSUE	DATE
PRELIMINARY PLANS	04.22.2020

DRAWING SCALE: 1/4" = 1'-0"

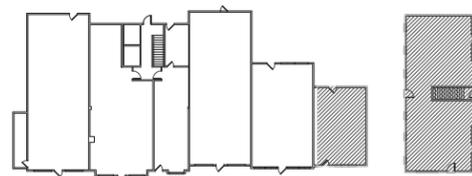
DRAWN BY: DES CHECKED BY: DMC

DRAWING TITLE:
FIRST FLOOR PLAN

DRAWING NUMBER:

A1.1

KEY PLAN:
SCALE: 1/32" = 1'-0"

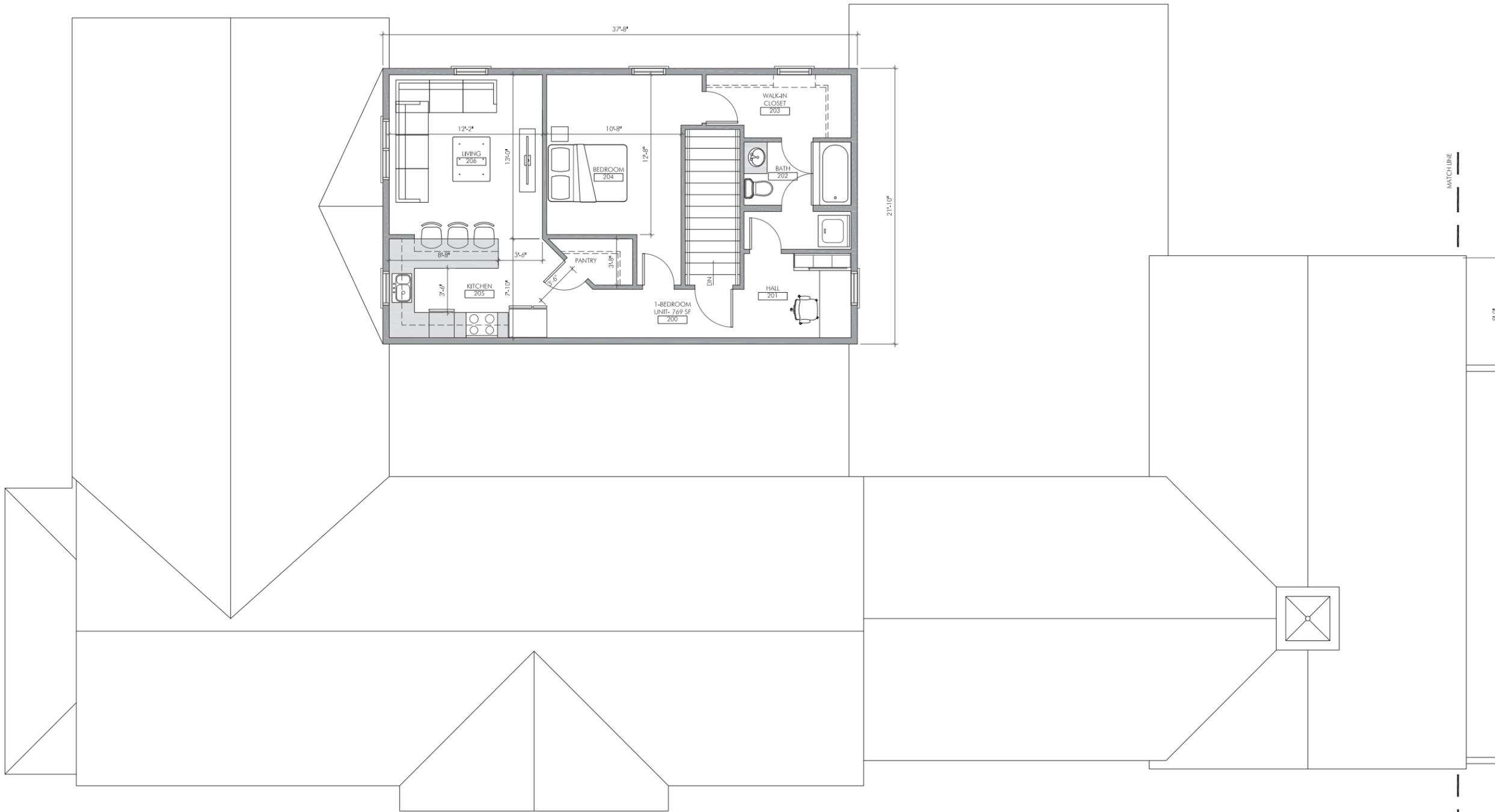


PROJECT:
GREAT ISLAND PLAZA RENOVATIONS
TATRA BUILDING COMPANY, INC.
1268 ROUTE 28
SOUTH YARMOUTH

PROJECT NUMBER: 19230



DENNIS COLWELL
ARCHITECTS
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035
P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

STAIR:

ISSUE	DATE
PRELIMINARY PLANS	04.22.2020

DRAWING SCALE: 1/4" = 1'-0"

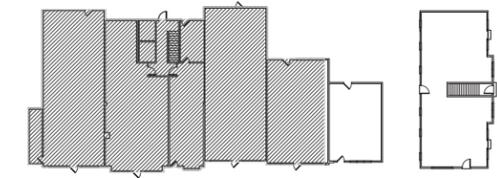
DRAWN BY: DES CHECKED BY: DMC

DRAWING TITLE:
FIRST FLOOR PLAN

DRAWING NUMBER:

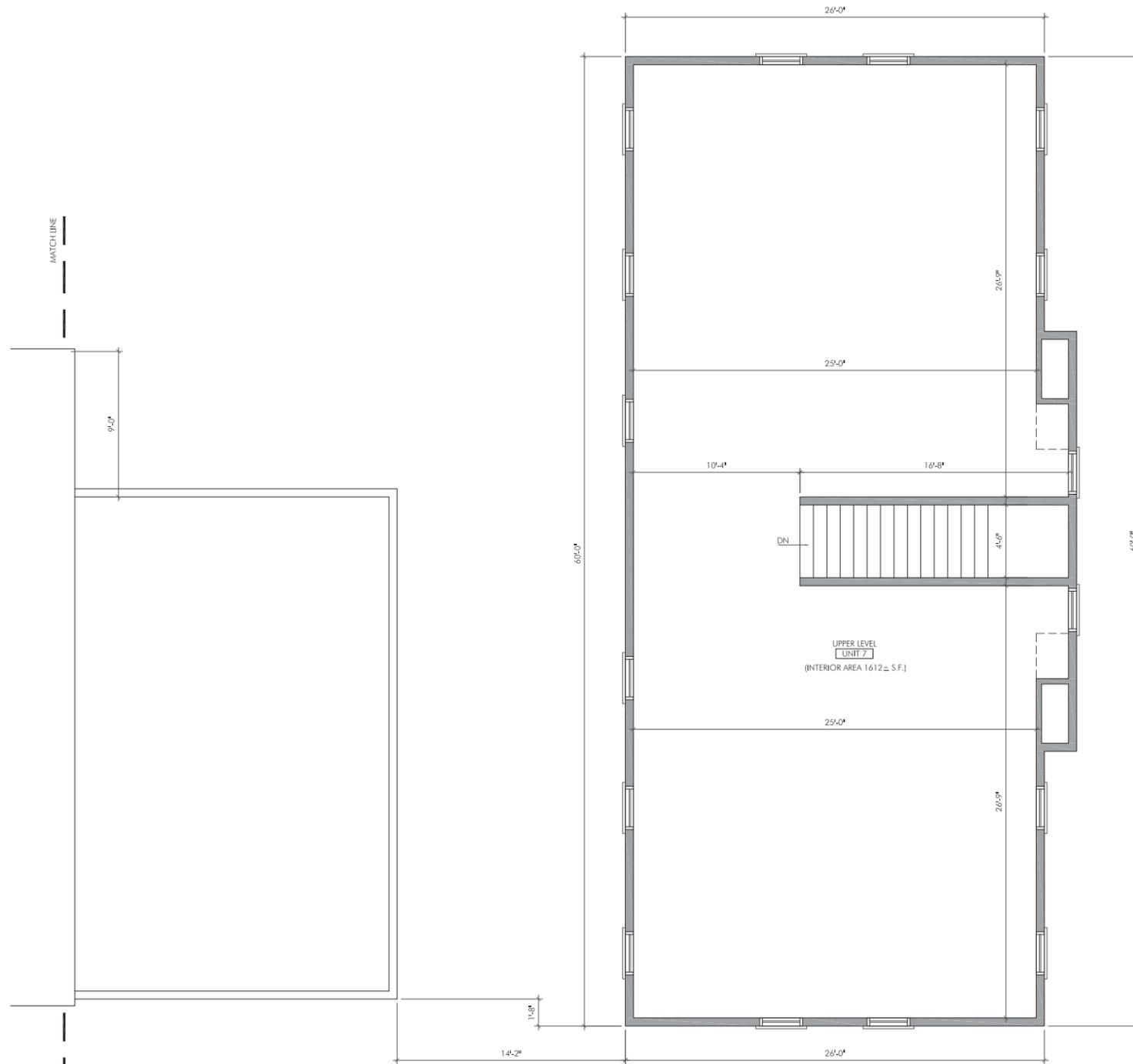
A1.2

KEY PLAN:
SCALE: 1/32" = 1'-0"



PROJECT:
GREAT ISLAND PLAZA RENOVATIONS
TATRA BUILDING COMPANY, INC.
1268 ROUTE 28
SOUTH YARMOUTH

PROJECT NUMBER: 19230



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

I.D.	QT.	MODEL#	ROUGH OPENING	MANUFACTURER	MATERIAL	DESCRIPTION	LOCATION	PATTERN
A	2	ELCA P IZ3 7359	6'-1" X 4'-11 3/8"	MARVIN ELEVATE	FIBERGLASS	IMPACT RATED PICTURE	UNIT 1	NONE
B	2	CUSTOM ELCA P IZ3 6659	5'-6" X 4'-11 3/8"	MARVIN ELEVATE	FIBERGLASS	IMPACT RATED PICTURE	UNIT 2	NONE
C	1	CUSTOM ELCA P IZ3 6659	5'-6" X 4'-11 3/8"	MARVIN ELEVATE	FIBERGLASS	IMPACT RATED PICTURE	UNIT 3 BAY WINDOW	CUSTOM
D	2	CUSTOM ELCA P IZ3 8459	8'-0" X 4'-11 3/8"	MARVIN ELEVATE	FIBERGLASS	IMPACT RATED PICTURE	UNIT 4	NONE
E	1	ELCA IZ3 1859-5459-1859	V.I.F.	MARVIN ELEVATE	FIBERGLASS	IMPACT RATED PICTURE	UNIT 5	NONE
F	1	CUSTOM ELCA P IZ3 8459	8'-0" X 4'-11 3/8"	MARVIN ELEVATE	FIBERGLASS	IMPACT RATED PICTURE	UNIT 6	NONE
G	1	CUSTOM ELCA P IZ3 8459	8'-0" X 4'-11 3/8"	MARVIN ELEVATE	FIBERGLASS	IMPACT RATED PICTURE	UNIT 7	NONE

*ALL QUANTITIES TO BE VERIFIED BY G.C. BEFORE ORDERING
*ALL ROUGH OPENINGS TO BE VERIFIED IN FIELD BEFORE ORDERING

DOOR SCHEDULE

I.D.	QT.	DIMENSION	ROUGH OPENING*	MANUFACTURER	MATERIAL	DESCRIPTION	LOCATION
1A	1	3'-0"X6'-8"	6'-3 3/8" X 6'-9"	MARVIN	AS SELECTED BY G.C.	COMMERCIAL ENTRY DOOR	COMMERCIAL FRONT ENTRIES
1C	1	3'-0"X6'-8"	3'-2 3/8" X 6'-9"	THERMA-TRU	AS SELECTED BY G.C.	THERMA-TRU REAR ACCESS DOORS	COMMERCIAL REAR ENTRIES

*ALL QUANTITIES TO BE VERIFIED BY G.C. BEFORE ORDERING
*ALL ROUGH OPENINGS TO BE VERIFIED IN FIELD BEFORE ORDERING
*FIRE RATED DOOR B-LABEL 90 MINUTES

STAIR:

ISSUE	DATE
PRELIMINARY PLANS	04.22.2020

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: DES CHECKED BY: DMC

DRAWING TITLE:
FIRST FLOOR PLAN

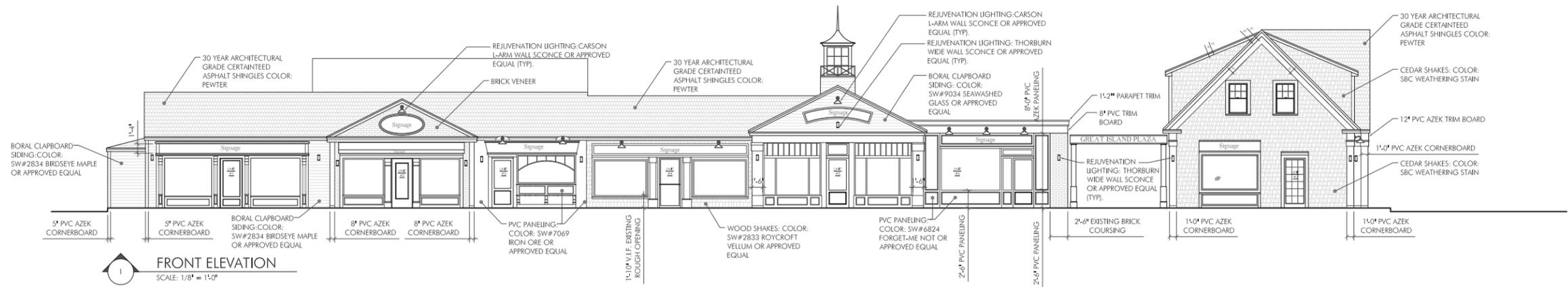
DRAWING NUMBER:

A1.3

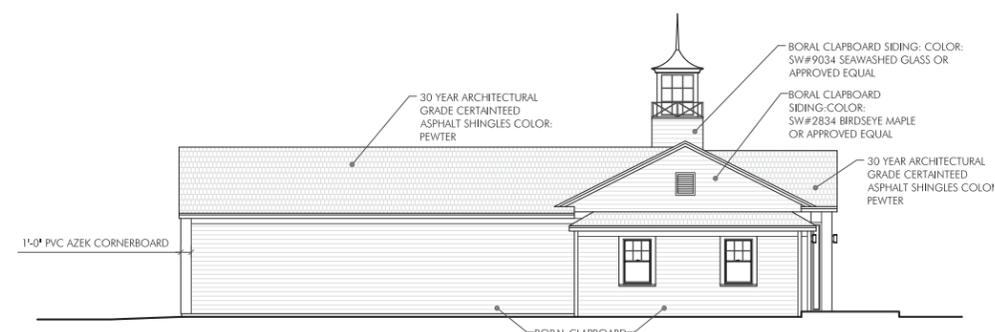
PROJECT:
 GREAT ISLAND PLAZA RENOVATIONS
 TATRA BUILDING COMPANY, INC.
 1268 ROUTE 28
 SOUTH YARMOUTH

PROJECT NUMBER: 19230

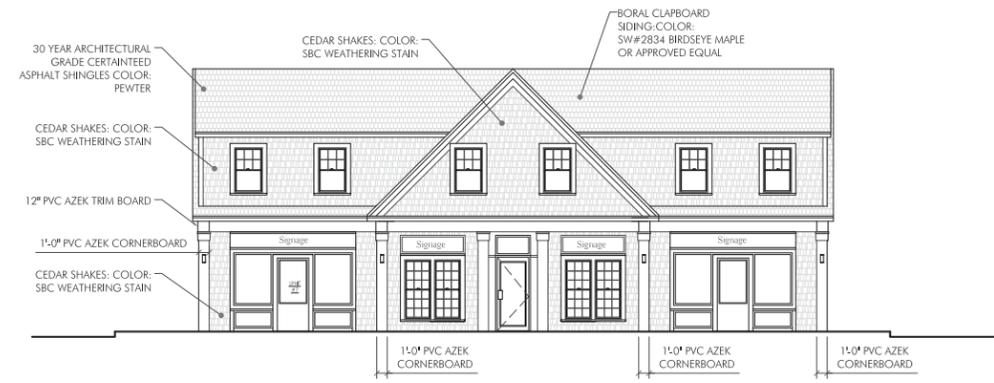
DENNIS COLWELL ARCHITECTS
 132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035
 P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM



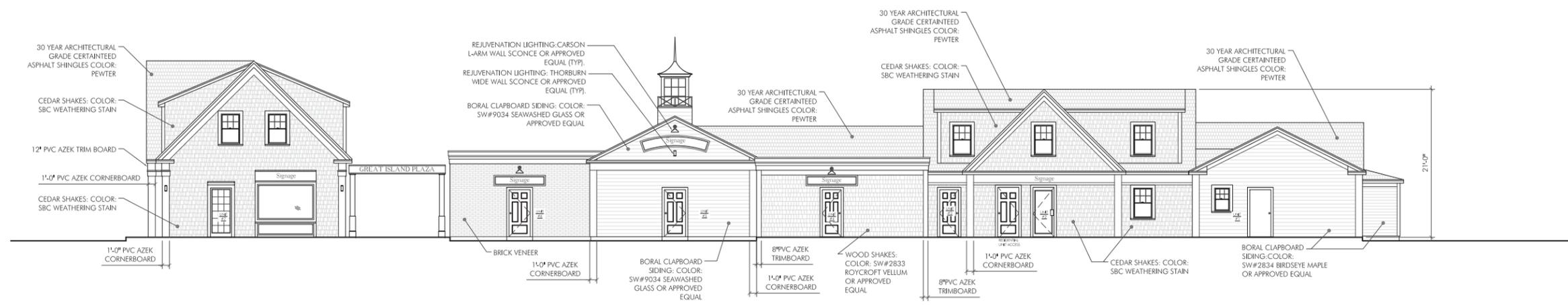
1 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



2 LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



3 RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
 SCALE: 1/8" = 1'-0"

STAMP:

ISSUE	DATE
PRELIMINARY ELEVATIONS	04.22.2020

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: DES CHECKED BY: DMC

DRAWING TITLE:
 ELEVATIONS

DRAWING NUMBER:

A2.0

PROJECT:
 GREAT ISLAND PLAZA RENOVATIONS
 TATRA BUILDING COMPANY, INC.
 1268 ROUTE 28
 SOUTH YARMOUTH

PROJECT NUMBER: 19230

DENNIS COLWELL
ARCHITECTS
 132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035
 P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM



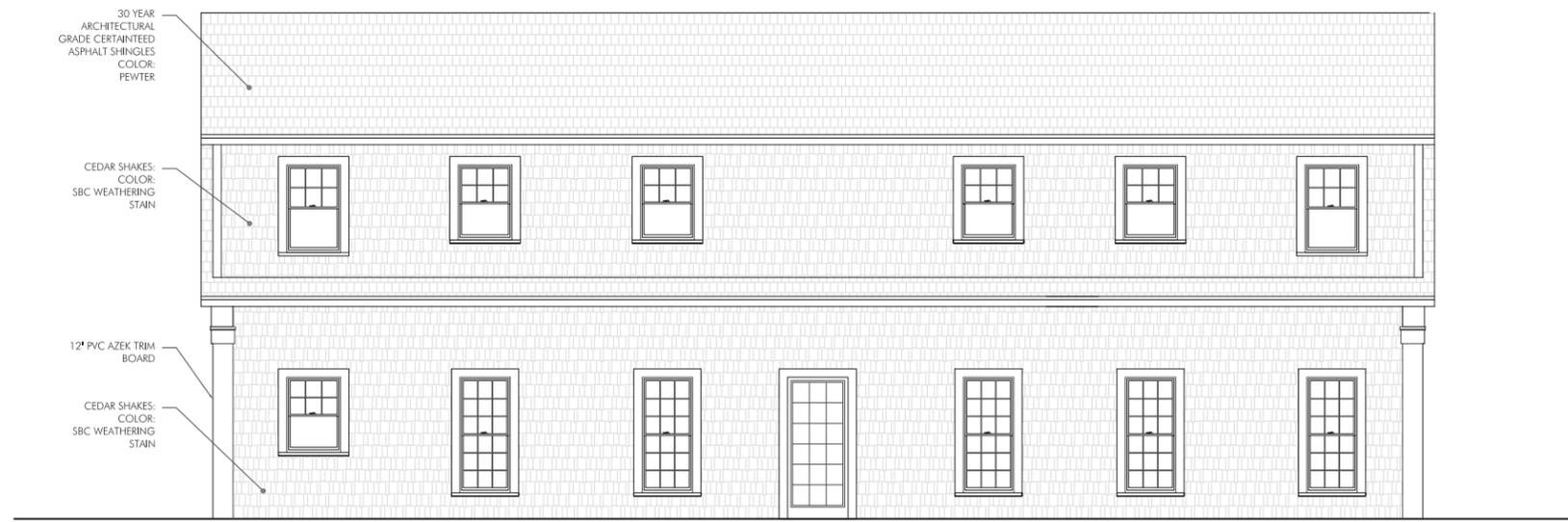
1-A FRONT ELEVATION (UNIT 7)
 SCALE: 1/4" = 1'-0"



2-A SIDE ELEVATION (UNIT 7)
 SCALE: 1/4" = 1'-0"



3-A REAR ELEVATION (UNIT 7)
 SCALE: 1/4" = 1'-0"



4-A SIDE ELEVATION (UNIT 7)
 SCALE: 1/4" = 1'-0"

STAMP:

ISSUE	DATE
PRELIMINARY ELEVATIONS	04.22.2020

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: DES CHECKED BY: DMC

DRAWING TITLE:
 UNIT 7th ELEVATIONS

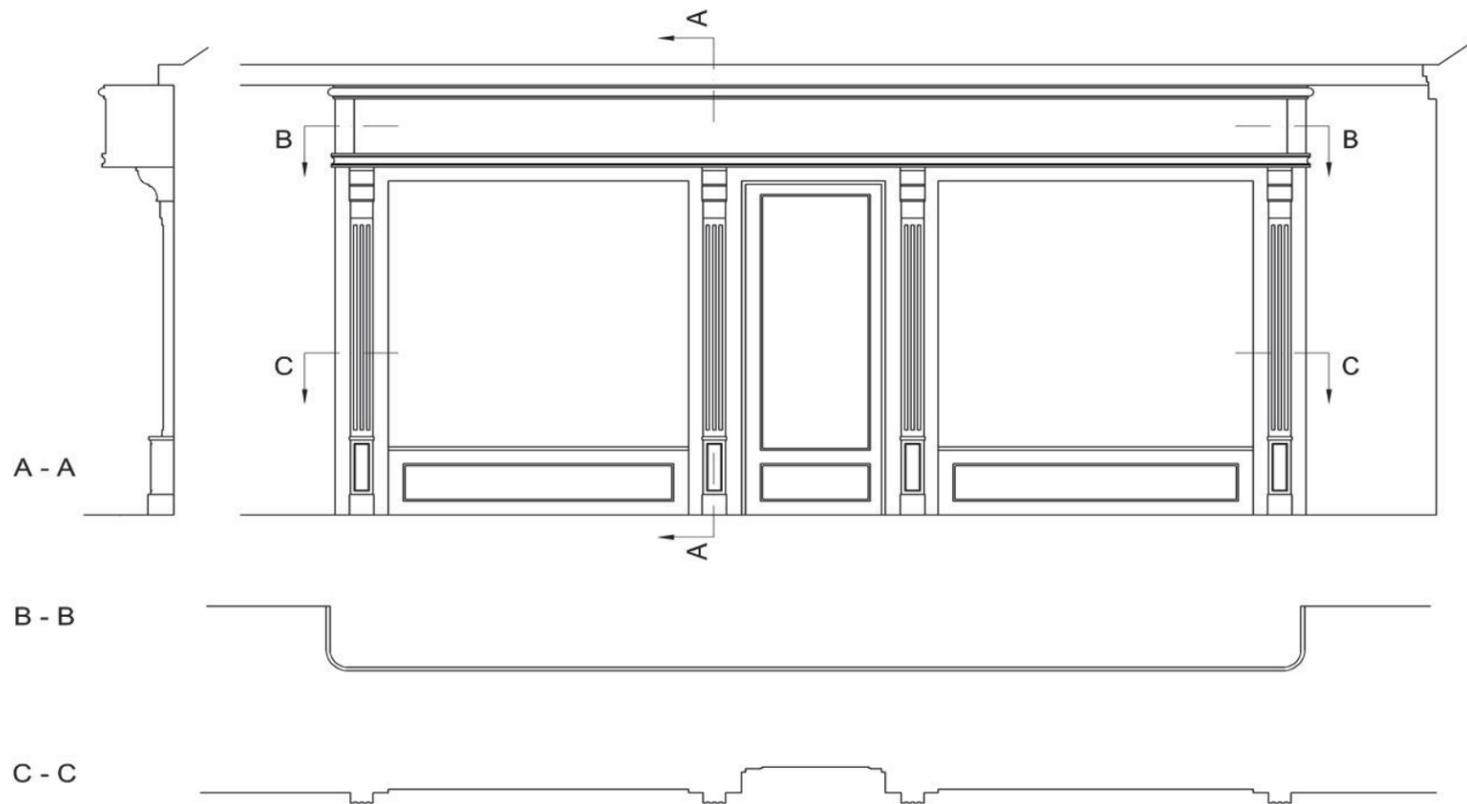
DRAWING NUMBER:

A2.1

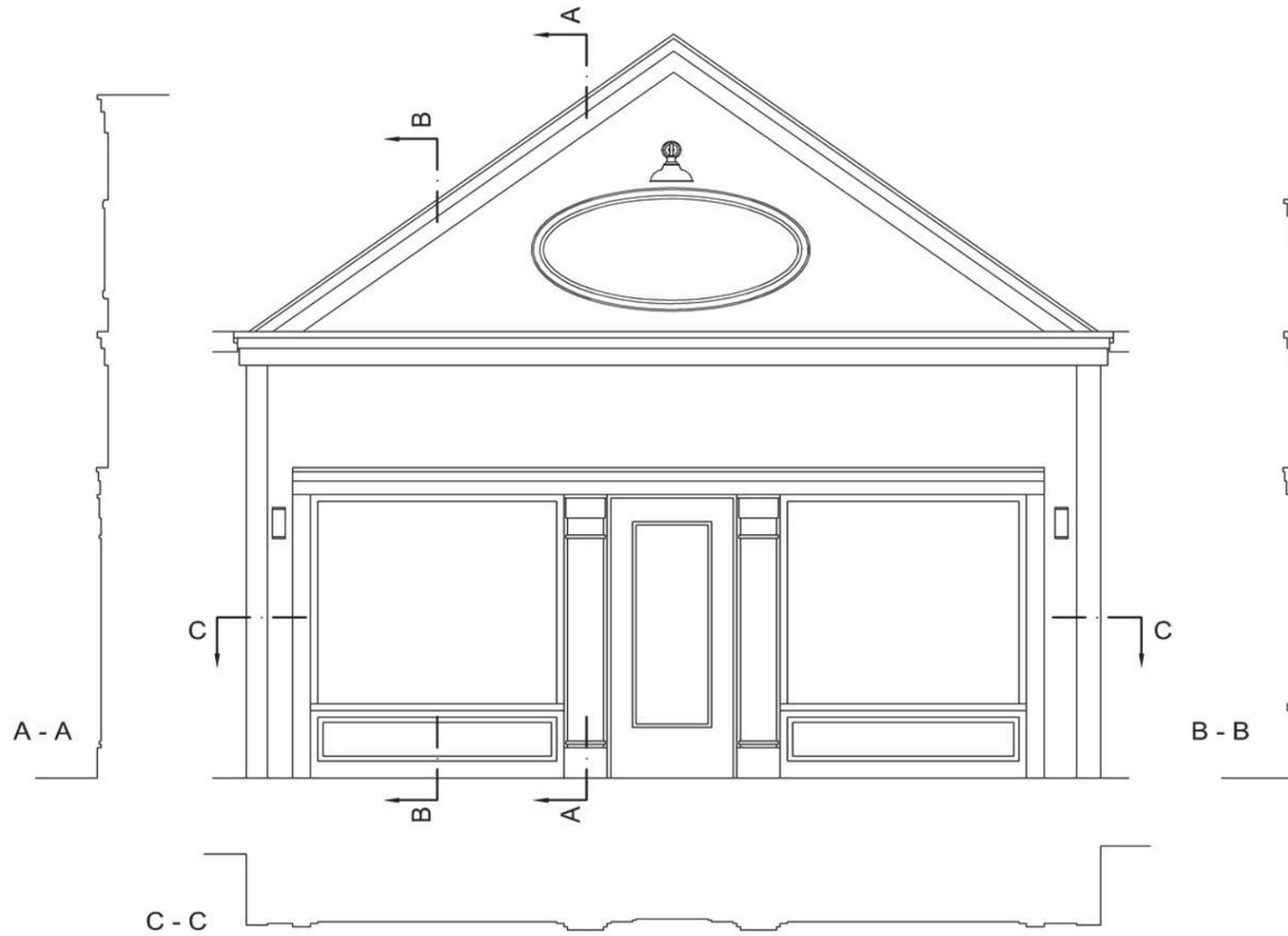




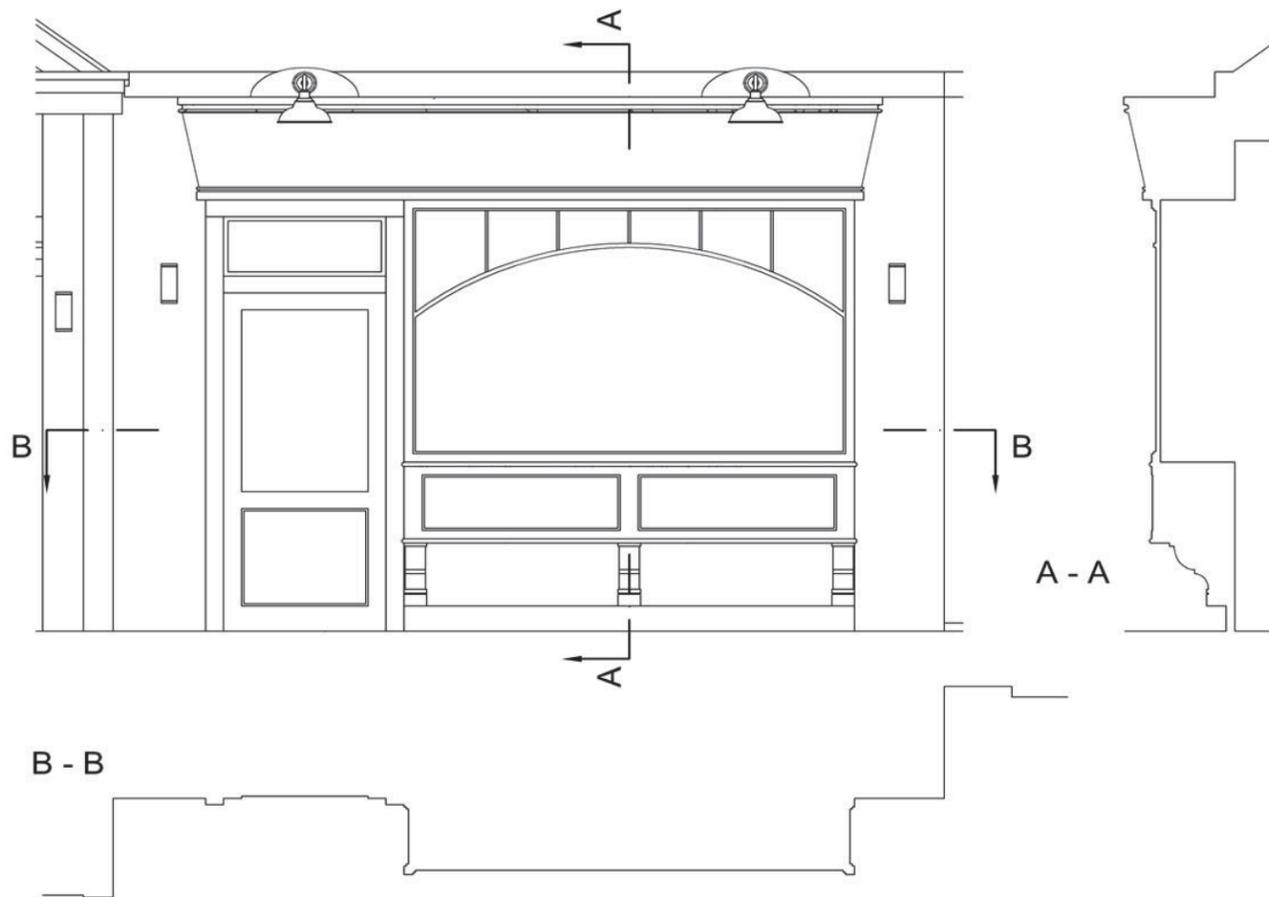
UNIT 01



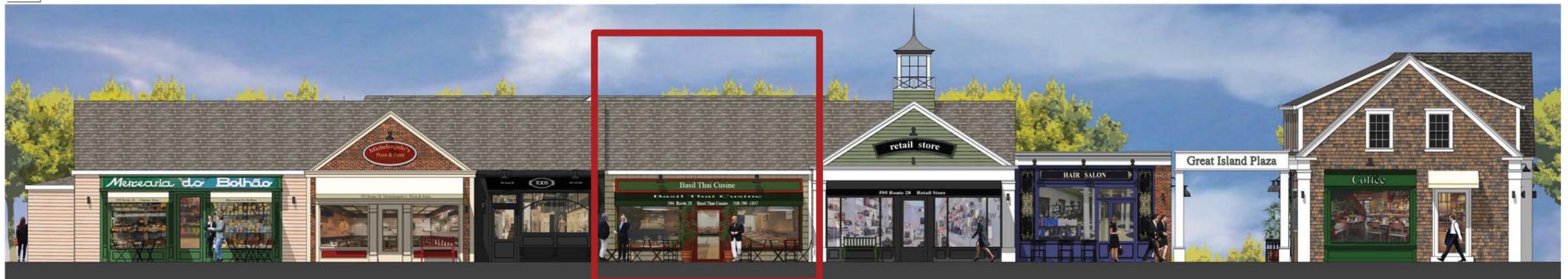
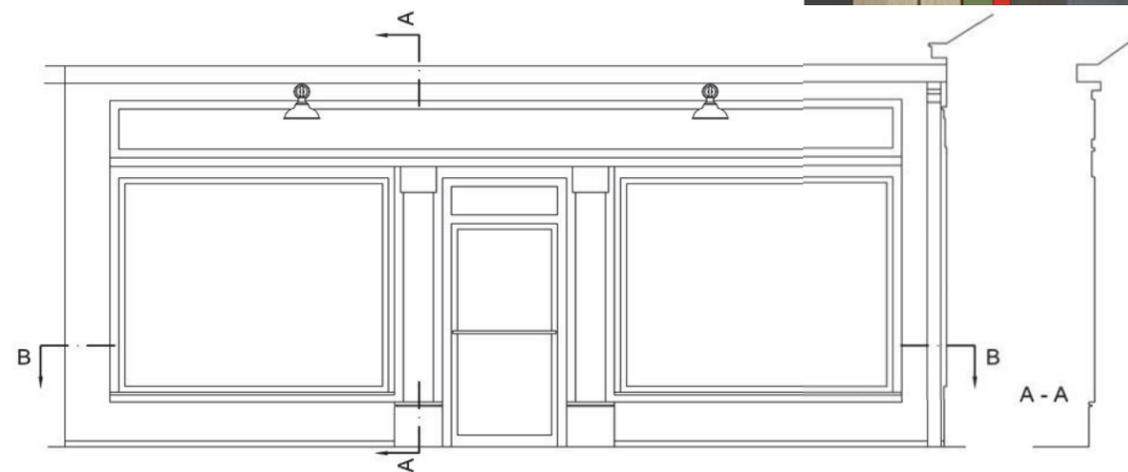
UNIT 02



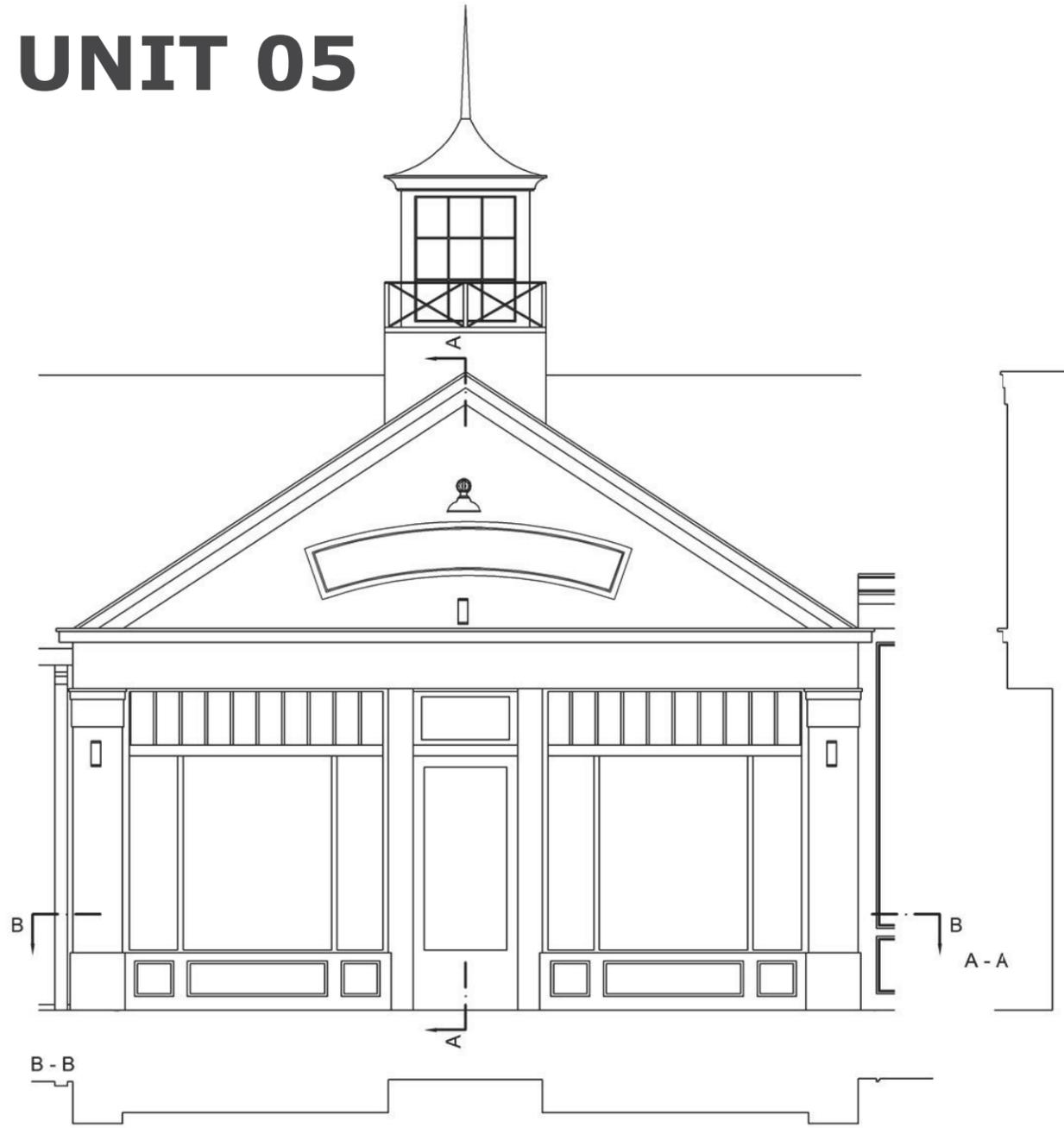
UNIT 03



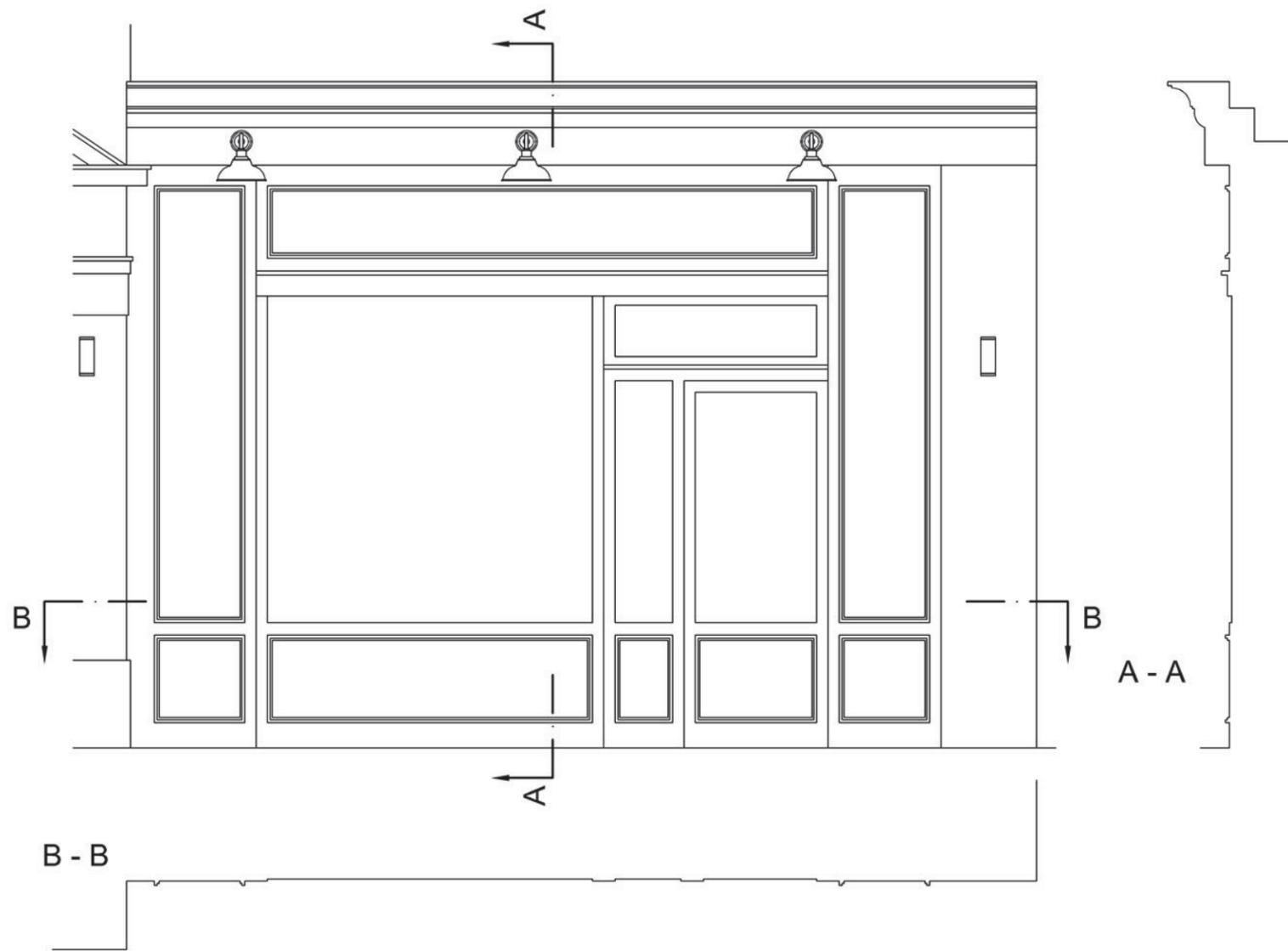
UNIT 04



UNIT 05



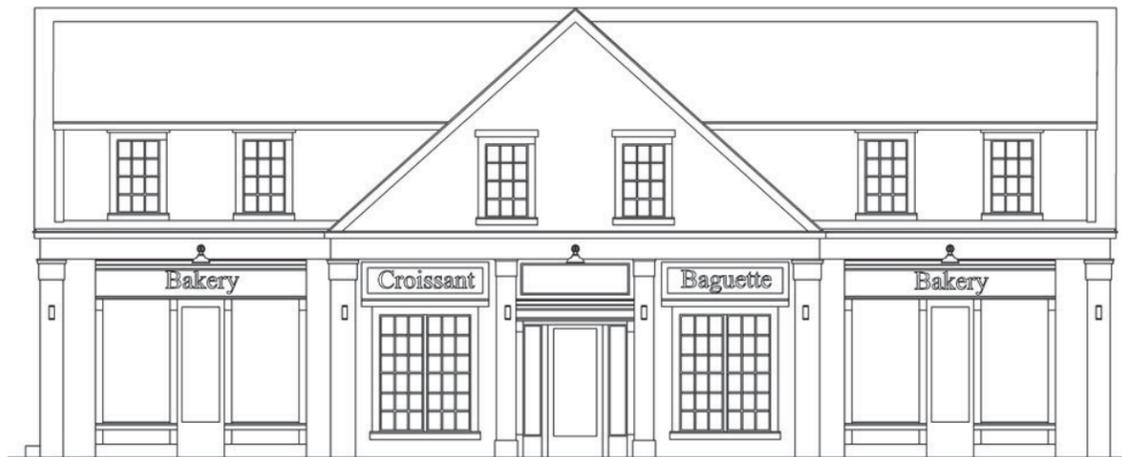
UNIT 06



UNIT 07a



UNIT 07b



UNIT 07c



UNIT 07d



REAR UNITS



REAR UNITS

